

PLANT LEGEND

TREES						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACE	QTY	WUCOLS
H	QUERCUS ILEX	HOLLY OAK	15 GAL.	PER PLAN	2	LOW
R	CERCIS CANADENSIS	RED BUD	15 GAL.	PER PLAN	8	LOW
E	EXISTING TREE TO BE REMOVED					

VINES						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACE	QTY	WUCOLS
F	FICUS PUMILA	CREeping FIG	5 GAL.	10' O.C.	11	MEDIUM

GROUND COVER						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACE	QTY	WUCOLS
	ROSEMARINUS OFFICINALIS	ROSEMARY	FLATS	12" O.C.	2727	LOW
	D.G.				1690	

HYDROSEED						
SYM	COMMON NAME	SIZE	SPACE	QTY	WUCOLS	
	BIOSWALE (NATIVE BIOFILTRATION SOD)			2231	MEDIUM	

- PLANTING NOTES:**
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE COUNTY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT LANDSCAPE STANDARDS
 - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MIN. DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING RE-VEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOILS AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
 - ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. OF ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MIN. DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT WRAPPED AROUND THE ROOT BALL. ROOT BARRIERS SHALL BE BIO-BARRIER OR EQUAL.
 - OWNER IS RESPONSIBLE FOR MAINTAINING THE LANDSCAPE, INCLUDING THE PUBLIC RIGHT-OF-WAY, IN A HEALTHY, DISEASE FREE CONDITION.
 - ALL LANDSCAPE AREAS SHALL BE FINISH GRADE TO REMOVE ROCKS AND ENSURE SURFACE DRAINAGE AWAY FROM BUILDINGS.
- IRRIGATION NOTES:**
- THE PROPOSED LANDSCAPE SHALL BE IRRIGATED USING WATER EFFICIENT HARDWARE AND MEET THE CRITERIA FOR THE CITY OF CHULA VISTA WATER CONSERVATION ORDINANCE. SLOPES SHALL BE IRRIGATED USING WIND RESISTANT, LOW PRECIPITATION RATE, ROTATOR STYLE OVERHEAD BROADCAST SYSTEMS. THE TREES SHALL BE IRRIGATED WITH SUBTERRANEAN DRIP RINGS. PLANTER BEDS NARROWER THAN 5' IN WIDTH SHALL BE IRRIGATED WITH A SUBTERRANEAN, SELF-FLUSHING, MICRO FLOOD IRRIGATION SYSTEM TO PREVENT OVERTHROW ONTO PAVEMENT AND OTHER ADJACENT OBJECTS.
- LANDSCAPE CONCEPT STATEMENT**
- THE OBJECTIVE OF THE LANDSCAPE CONCEPT SHALL BE TO ORCHESTRATE WITH THE ORGANIC ELEMENT FOR THE TREATMENT OF THE STORM WATER AND OTHER POST CONSTRUCTION BMPs WHILE VISUALLY ENHANCING THE SITE WITH PLANT MATERIAL. THE PLANTS SHALL BE OF LOW WATER USE WHEREVER POSSIBLE AND BIOSWALES SHALL USE A LOW TO MODERATE WATER USE NATIVE NO-MOW TYPE GRASS. UNSIGHTLY MASONRY RETAINING WALLS SHALL BE SCREENED WITH A DROUGHT TOLERANT TYPE VINE TO SOFTEN THE LOOK TO THE PUBLIC AND THE PRIVATE RESIDENCES.

LANDSCAPE ARCHITECTURE & DEVELOPMENT

1417 SAN SIMEON ST.
OCEANSIDE, CA 92058
760-716-3100
CA. LLA#5299, C-27#944955

SHEET TITLE:

LANDSCAPE CONCEPT PLAN

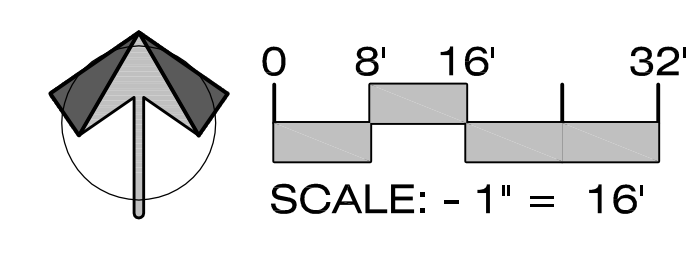
PROJECT:

**TENTATIVE MAP
PCS-1301, IS-13-003
6 LOT SUBDIVISION**

NOT FOR CONSTRUCTION

REVISIONS

DRAWN	SC
APPROVED	SC
JOB NO.	
DATE	06-04-14
SCALE	AS SHOWN
SHEET	1 OF 1

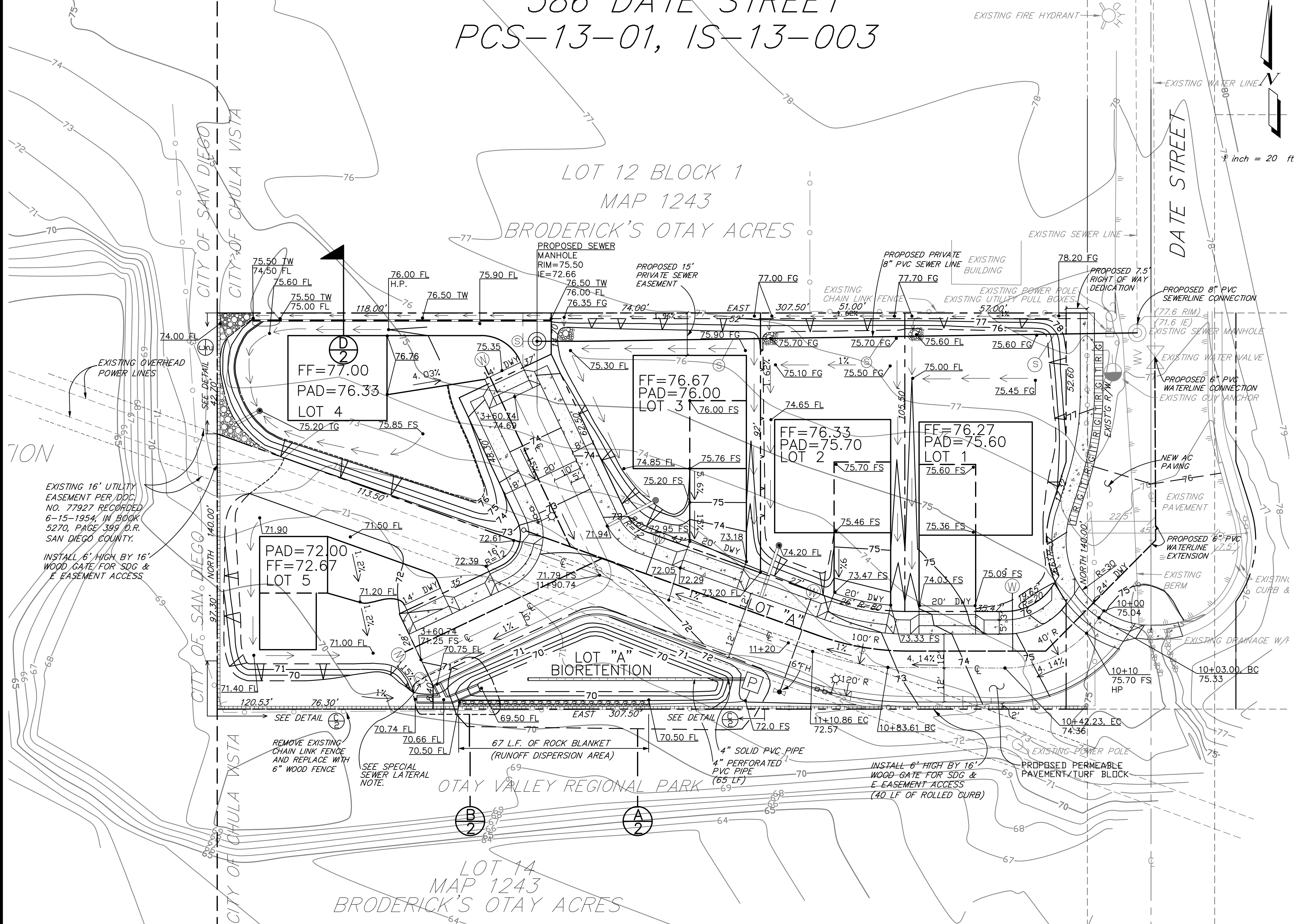


PLOT DATE: 06-04-14

TENTATIVE SUBDIVISION MAP

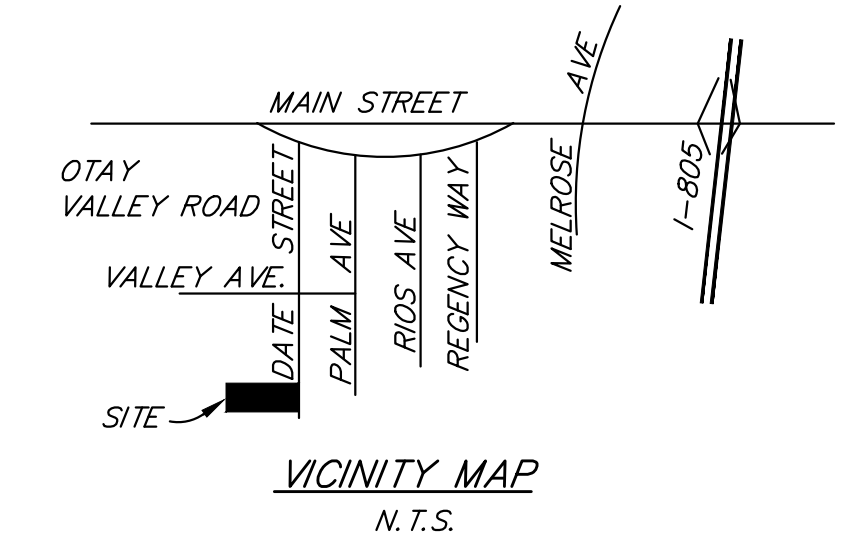
386 DATE STREET

PCS-13-01, IS-13-003



LEGEND

- EXISTING SEWER MANHOLE
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING WATER VALVE
- NEW SEWER MANHOLE
- NEW 4" SEWER LATERAL
- NEW 1" WATER SERVICE
- NEW STORM DRAIN PUMP
- TRG.....THRASH, RECYCLE AND GREEN CONTAINER (3'x3')
- NEW 6" WOOD SCREEN FENCE
- NEW RETAINING WALL
- NEW STREET LIGHT
- NEW PERMEABLE PCC SIDEWALK
- CUT/FILL SLOPE
- NEW 6" FIRE HYDRANT
- FLOW DIRECTION AND SLOPE
- FF.....FINISH FLOOR ELEVATION
- PAD.....FINISH PAD ELEVATION
- FG.....FINISH GRADE ELEVATION
- FL.....FLOW LINE ELEVATION
- FS.....FINISH SURFACE ELEVATION
- TW.....TOP OF WALL ELEVATION



LEGAL DESCRIPTION

LOT 13 IN BLOCK 1 OF BRODERICK'S OTAY ACRES IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THEREOF No. 1243, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 25, 1910.

ASSESSOR'S PARCEL NO.

631-011-17 & 18

OWNER & APPLICANT

IBERIA PROJECT MANAGEMENT, LLC
3936 HORTENSIA STREET
SAN DIEGO, CA. 92110

GENE GREVAS OWNER DATE

JOHN GREVAS OWNER DATE

NAPOLEON ZERVAS OWNER DATE

PREPARED BY

FIorentina ENGINEERING & DESIGN STUDIO
744 PIDGEON STREET
SAN DIEGO, CA 92114
PHONE (619) 210 3371,

JOSE RAUL GOMEZ R.C.E. 43306 DATE LICENSE EXPIRES 3/31/2016

WATER SUPPLY

CAL AMERICAN WATER COMPANY

SEWAGE DISPOSAL

CITY OF CHULA VISTA

FIRE PROTECTION

CITY OF CHULA VISTA

EXISTING ZONING

R-15P

PROPOSED ZONING

R-15P

TOTAL NUMBERS OF LOTS

5 RESIDENTIAL LOTS

1 LETTERED LOT

EXISTING USAGE

VACANT LOT

PROPOSED USAGE

RESIDENTIAL

TOTAL GROSS AREA

0.988 ACRES

TOTAL NET AREA

0.9642 ACRES

SOURCE OF TOPOGRAPHY

FIELD TOPOGRAPHIC SURVEY PERFORMED BY FIORENTINA ENGINEERING AND DESIGN STUDIO IN FEBRUARY OF 2010

BENCHMARK

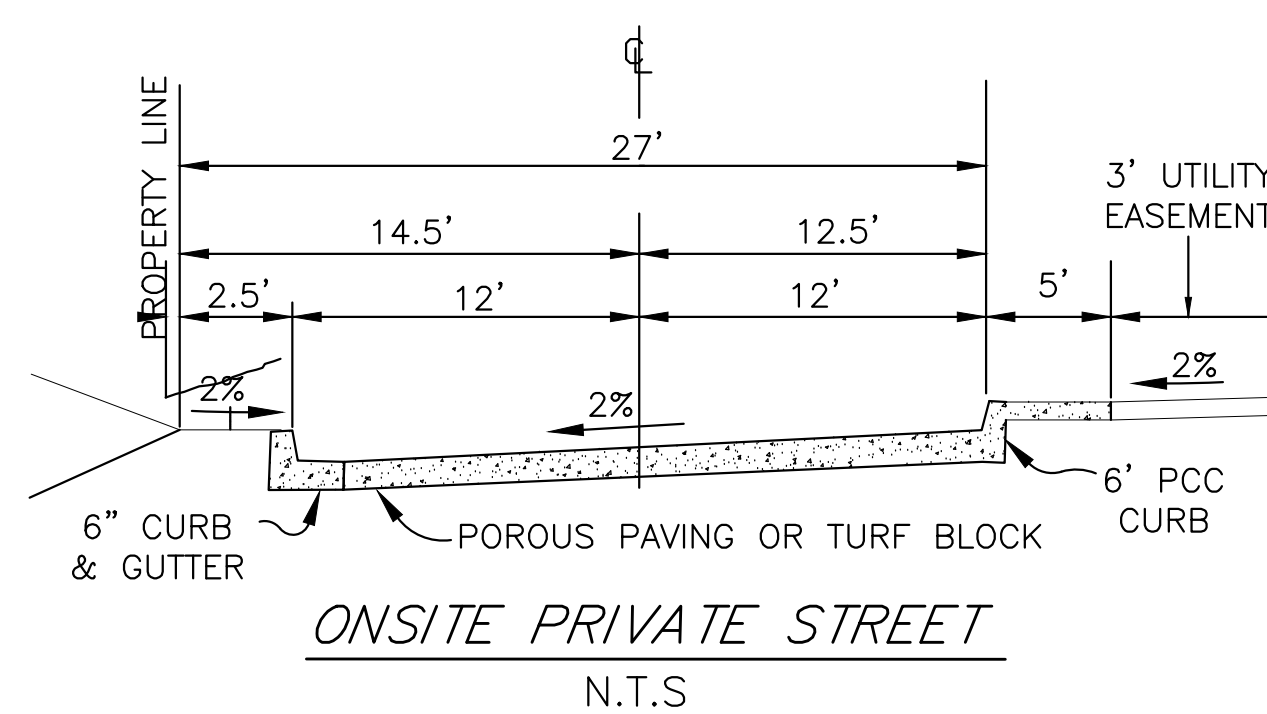
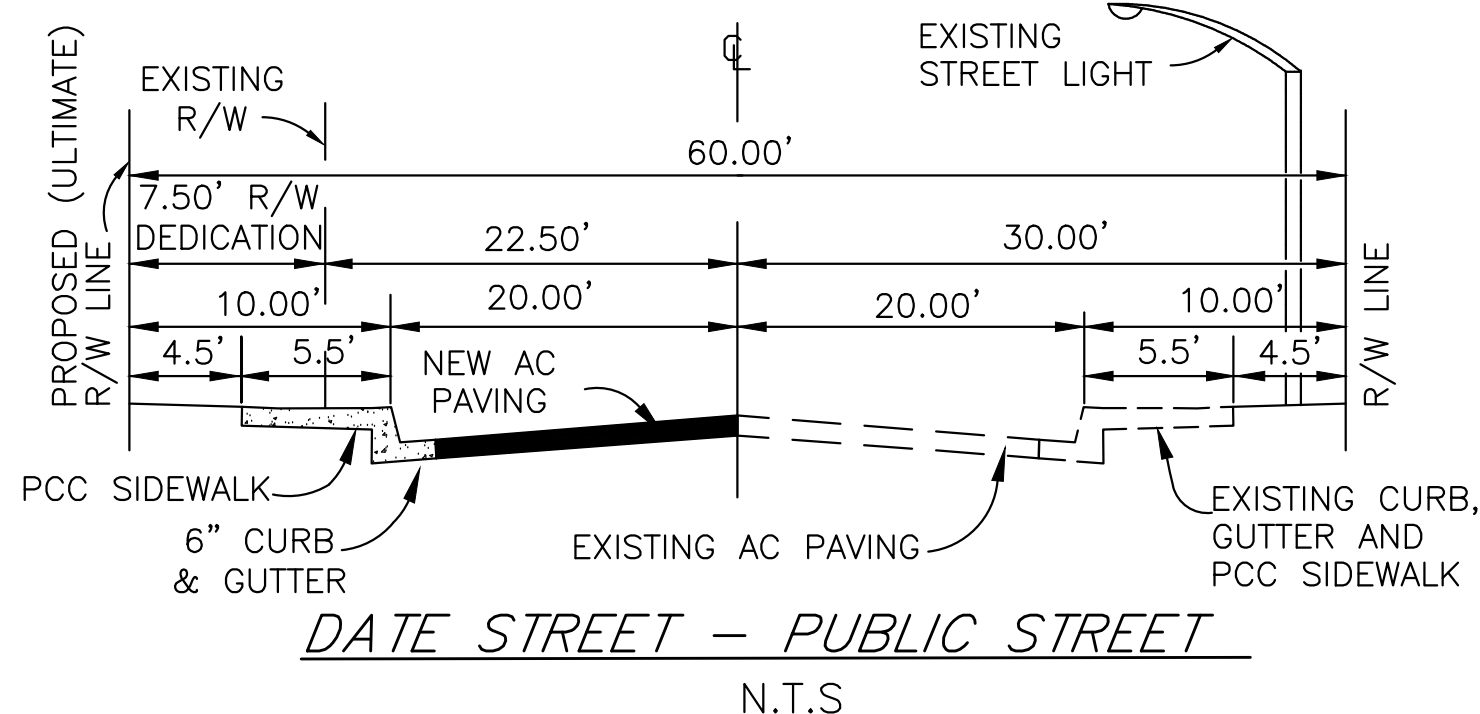
THE BENCHMARK IS A LEAD & TACK IN THE BASE OF A TRAFFIC SIGNAL ON THE SOUTH SIDE OF MAIN STREET AT HILLTOP DRIVE. CHULA VISTA BM#1555. ELEV. 101.150 M.S.L.

GRADING

FILL 5500 CU. YARDS
CUT 500 CU. YARDS
IMPORT 5000 CU. YARDS

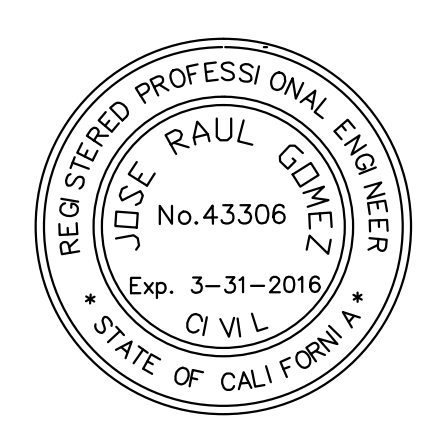
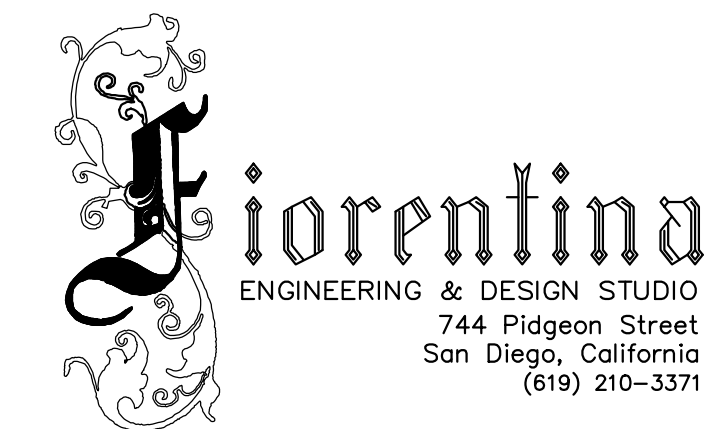
DATE PREPARED

OCTOBER 18, 2013
REV. MARCH 10, 2014
REV. OCTOBER 9, 2014



PROPOSED LOT AREAS				
LOT No.	AREA GROSS (SQ. FT.)	AREA NET (SQ. FT.)	PAD SIZE*	LAND USE
1	5713.20	5713.20	5345.00	S.F.R. (**)
2	5106.60	5106.60	4650.00	S.F.R. (**)
3	5074.55	5074.55	4322.00	S.F.R. (**)
4	6213.27	6213.27	4869.00	S.F.R. (**)
5	6734.20	6734.20	4404.62	S.F.R. (**)
A	13209.10	13209.10	N/A	PRIVATE FACILITIES

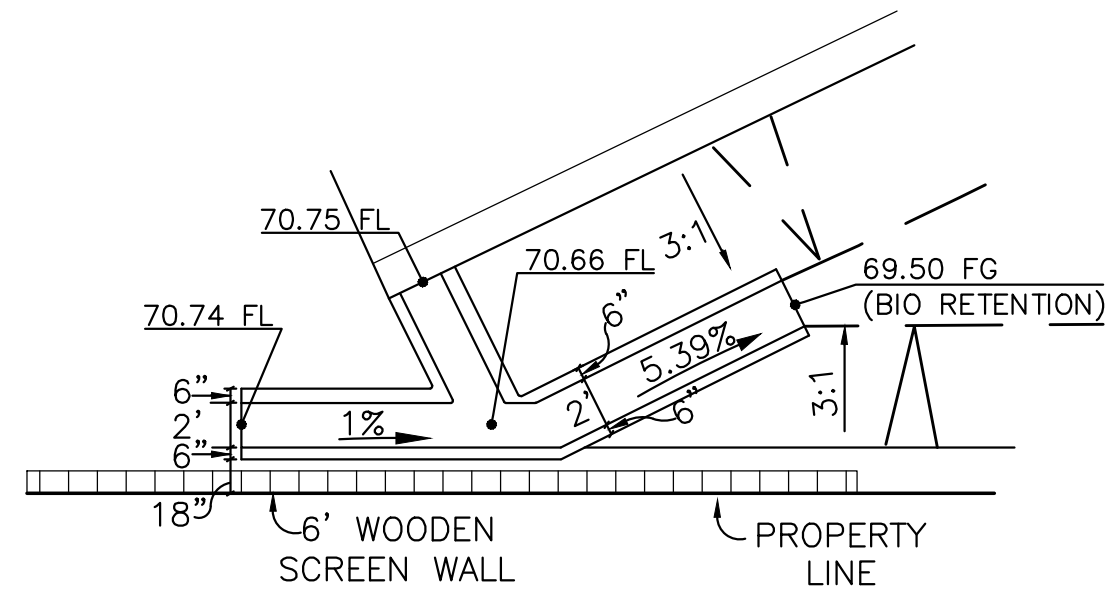
* MINIMUM PAD AREA= 4000 SQ.FT. (MINIMUM AREA PER R1 ZONE)
SEE PAD SIZE ON TABLE.
** SINGLE FAMILY RESIDENCE.



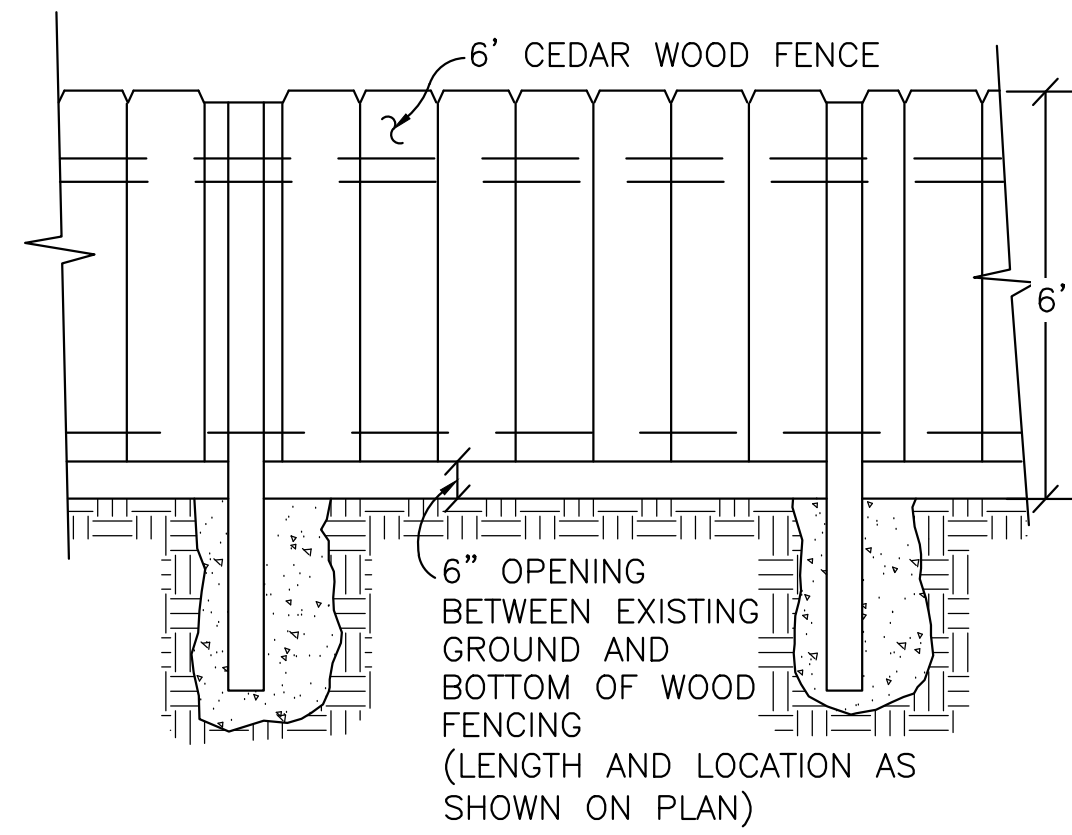
TENTATIVE SUBDIVISION MAP

386 DATE STREET

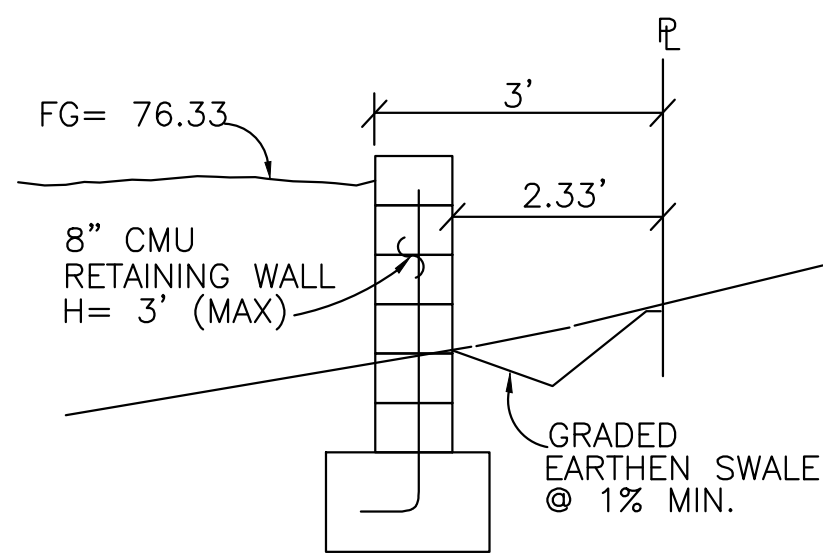
PCS-13-01, IS-13-003



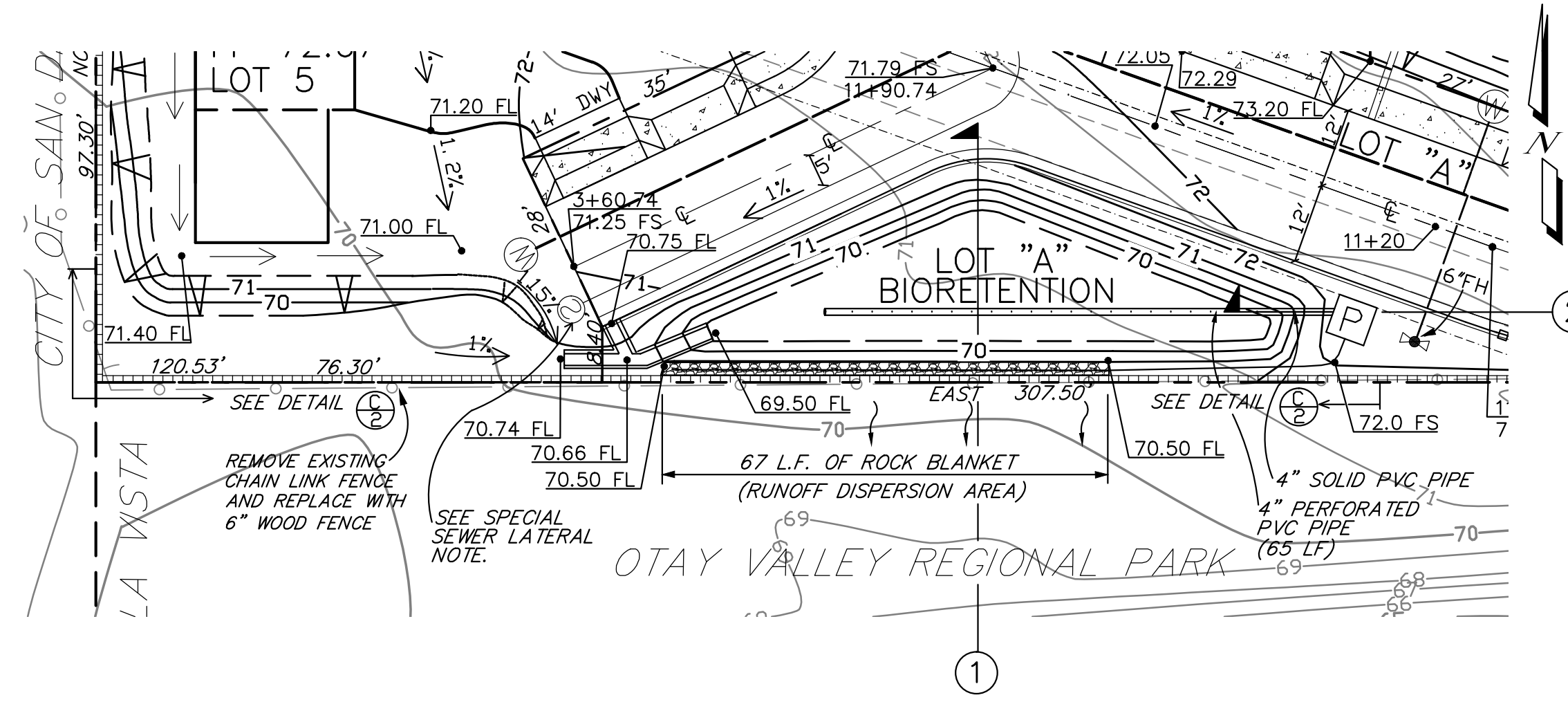
SPILLWAY DETAIL (B)
N.T.S. (2)



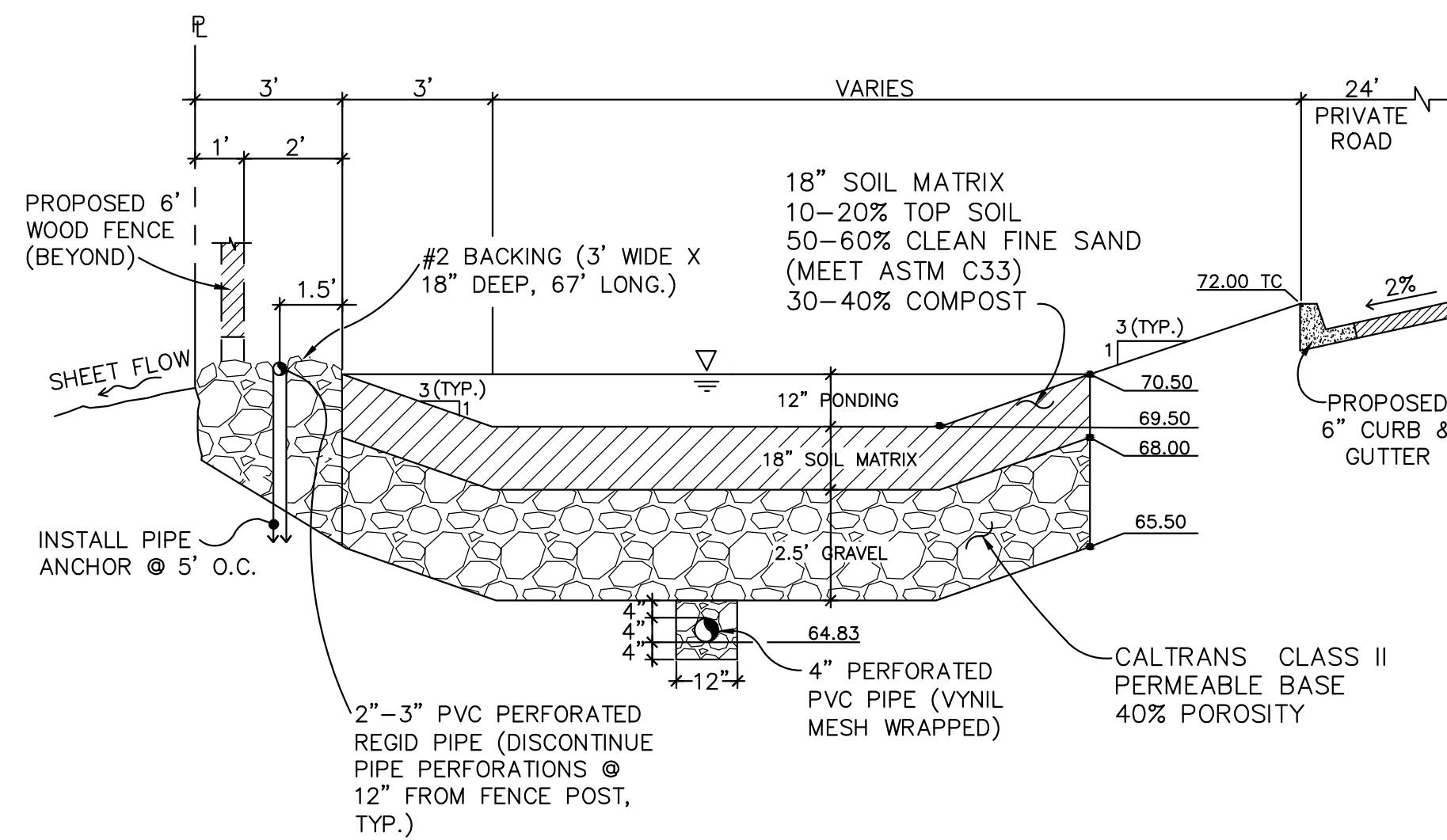
6' WOOD FENCE BOTTOM OPENING DETAIL (C)
N.T.S. (2)



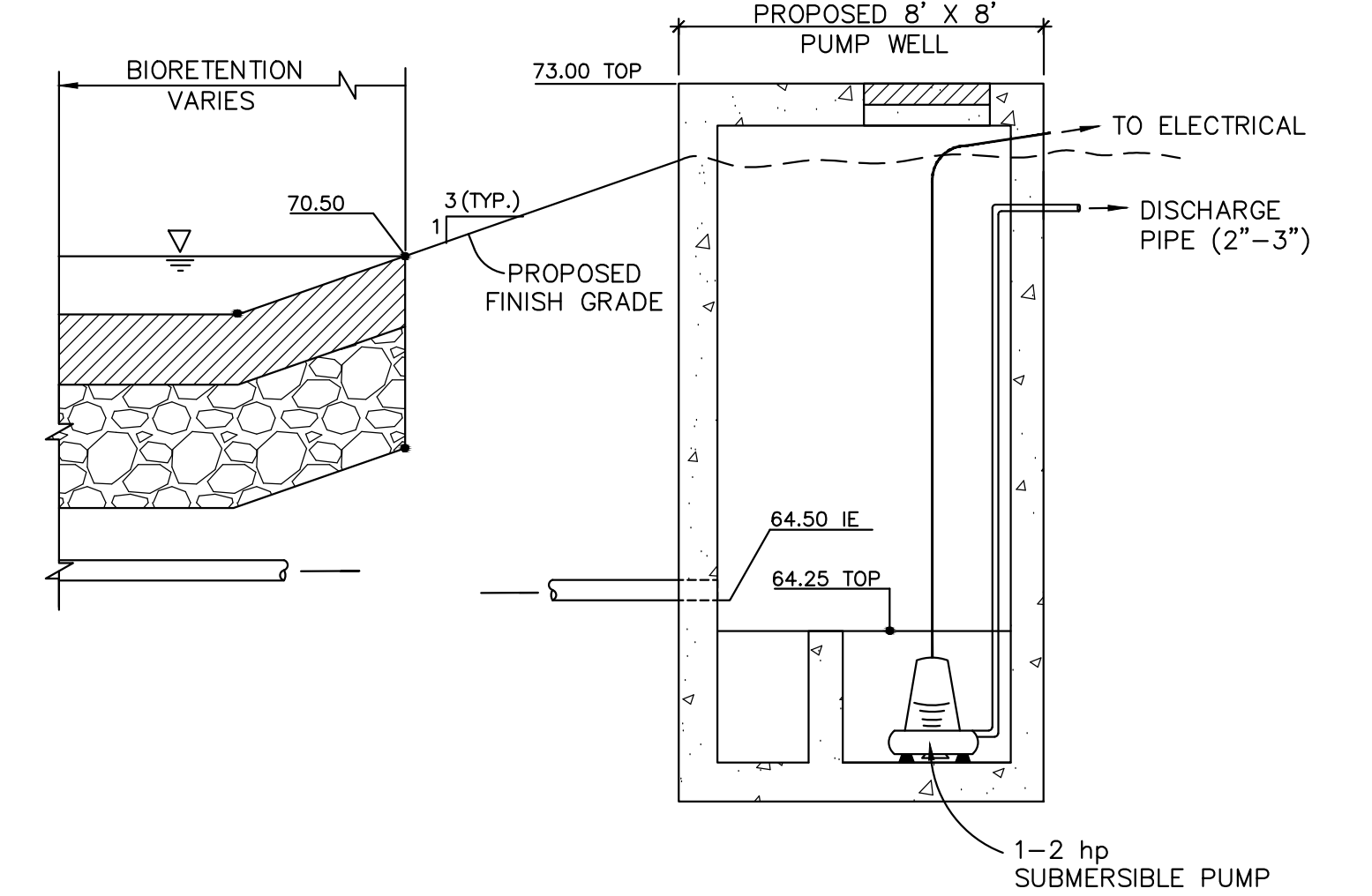
SECTION (D)
N.T.S. (2)



BIO-RETENTION BASIN DETAIL (A)
SCALE 1" = 20' (2)



BIO-RETENTION SECTION (1)
NOT TO SCALE



PUMP WELL SECTION (2)
NOT TO SCALE

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