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[www.opencounter.com](http://www.opencounter.com)

25 Taylor Street, San Francisco, CA 94102



# Chula Vista Presentation

## January 10, 2017

[www.opencounter.com](http://www.opencounter.com)

25 Taylor Street, San Francisco, CA 94102

# The Challenge










“For big businesses, we roll out the red carpet. For small businesses, we put up the red tape.”

*Mark R. Holland  
Mayor  
Kansas City, Kansas*

The background image shows the interior of an ice creamery. It features a long counter with various ice cream-making equipment, including mixers and dispensers. Several people are visible behind the counter, likely staff members. The ceiling has exposed wooden beams and numerous small, round pendant lights hanging from it. Large windows are visible on the left side, letting in natural light. The entire image is overlaid with a semi-transparent green filter.

# Case Study: Penny Ice Creamery

## Our Story

The Penny Ice Creamery is the only ice cream shop in Santa Cruz making delicious ice cream completely from scratch in house. Our flavors change with the seasons, and feature locally farmed and organic ingredients.

### Scoops

Served in a house made cone or cup

- Kids 2.50
- Single 3.75
- Double 5.75
- Triple 6.75

### Toppings

- Caramel Sauce
- Chocolate Sauce
- Toasted Marshmallow Fluff 75¢
- Seasonal Fruit Preserves
- Espresso over Vanilla Ice Cream 5.50
- Traditional 5.75
- See Specials 7.00

• Warm and  
• Bon

### Floats

• Ice Cream  
• Shakes

### Popsicles





## *Our Story* 21 Permits

The Penny Ice Creamery is the only ice cream shop in Santa Cruz making delicious ice cream completely from scratch in house. Our flavors change monthly and we use only the finest, farm and organic ingredients.

Downtown Business Improvement District Permit, Parking District Permit, Business License, Zoning Clearance Permit, Building Permit, Refuse Container for Demolition, Fire Inspection, Certificate of Occupancy, California Food Safety / Sanitation, County Health Permit, Grease Trap Registration, Processed Food Registration Application, Food Labeling, Guidelines, Fictitious Business Filing, Business Property Tax Assessment, Incorporation, Reseller's Permit, California EDD (Payroll Tax), Worker's Compensation

Ice Creamery Menu:

- Scoops: Kids 2.50, Single 3.75, Double 5.75
- Ice Cream: Warm and Bon, Floats, Ice Cream, Shakes, Popsicles
- Chocolate Sauce 75¢
- Espresso over Vanilla Ice Cream Traditional 5.75





# PLANNING DEPARTMENT

[REDACTED]

STREET ADDRESSING/NAMING

HOURS:

MONDAY – THURSDAY

8:00 - 12:00 (NO WALK-INS AFTER 11:30 A.M.)

1:00 - 3:00 (NO WALK-INS AFTER 2:30 P.M.)

CLOSED FRIDAY

400



Residents



Businesses



Government



Visitors

English

Search...



Mecklenburg County, NC > LUESA > Code Enforcement

Air Quality

Code Enforcement

- > About Us
- > Building-Development Commission
- > Leadership
- > Permitting
- > Plan Review
- > RTAC
- > CTAC
- > Inspections
- > Public Records & Documents
- > County Fire Marshal
- > Customer Tools
- > FAQs
- > News
- > Our Partner Agencies
- > Helpful Links
- > Contact Us

## Mecklenburg County Code Enforcement



Print



Share



All LUESA divisions are moving to **2145 Suttle Avenue** (the old Charlotte School of Law Building) by January 2016. Solid Waste facilities such as Compost Central and Full Service Recycling Centers will not be impacted. Please visit the Bringing Mecklenburg County To You **LUESA Relocation Update** page for the latest information.



**VETERANS:  
TRAIN WITH US!**

**Building**  
with **OUR VETERANS**  
*Integrity and service at home.*

**APPLY NOW**



# ZONING CLEARANCE

## OCCUPANCY PERMIT APPLICATION FORM CITY OF SANTA CRUZ DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

THIS APPLICATION FORM IS FOR ZONING CLEARANCE ONLY  
AND DOES NOT AUTHORIZE OCCUPANCY WITHOUT FULLY  
COMPLYING WITH ALL CITY REQUIREMENTS

FEE

216.00 PAID w/10/11

TYPE OF APPLICATION	FILL OUT SECS.	
NEW USE	1, 2	
CHANGE OF USE	1, 2	
CHANGE OF OWNERSHIP	1	
HOME OCCUPATION	1	

### 1. GENERAL INFORMATION

ADDRESS OF BUSINESS 855 NOBEL DRIVE PHONE 408-726-2203  
NAME OF BUSINESS MARKET  
A.P.N. 002-602-12 ZONING DISTRICT RL  
NAME OF APPLICANT Leinatha Le PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
STREET CITY/STATE ZIP  
DESCRIPTION OF BUSINESS MANAGEMENT CONSULTING  
DATE OF OCCUPANCY 7/20/11 PREVIOUS USE N/A

### 2. LOCATION INFORMATION

- AREA
  - 1st FLOOR \_\_\_\_\_
  - 2nd FLOOR \_\_\_\_\_
  - OUTDOOR \_\_\_\_\_
  - TOTAL \_\_\_\_\_
- SINGLE TENANT  MULTI-TENANT
- PARKING  
NO. OF OFF-STREET SPACES
  - AUTO \_\_\_\_\_
  - BICYCLE \_\_\_\_\_

#### 4. SIGNAGE

ZONING ORDINANCE SECTION 24.08.520 REFERS TO SIGN PERMIT REQUIREMENTS. SHOULD A SIGN PERMIT BE NECESSARY, AND APPLICATION MUST BE APPROVED PRIOR TO PLACEMENT OF ANY SIGNAGE. FAILURE TO COMPLY COULD RESULT IN A CITATION.

### 3. DECLARATION

I DECLARE UNDER PENALTY OF PERJURY, THAT THE ABOVE INFORMATION WHICH I HAVE SET FORTH IN THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I AGREE TO OPERATE THE ABOVE DESCRIBED BUSINESS IN STRICT COMPLIANCE WITH CITY ZONING REGULATIONS GOVERNING SAME.

SIGNED THIS 7 DAY OF NOV, 2011

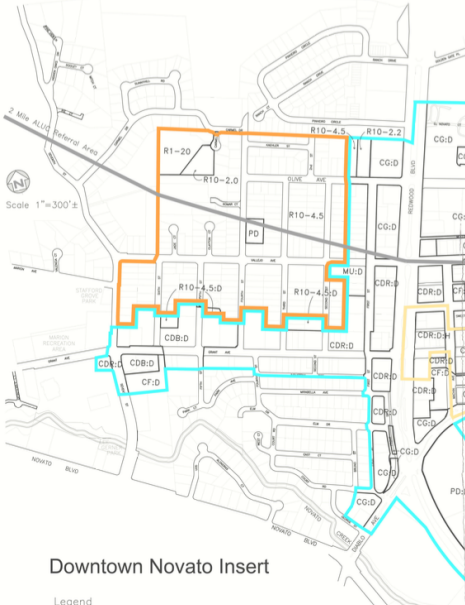
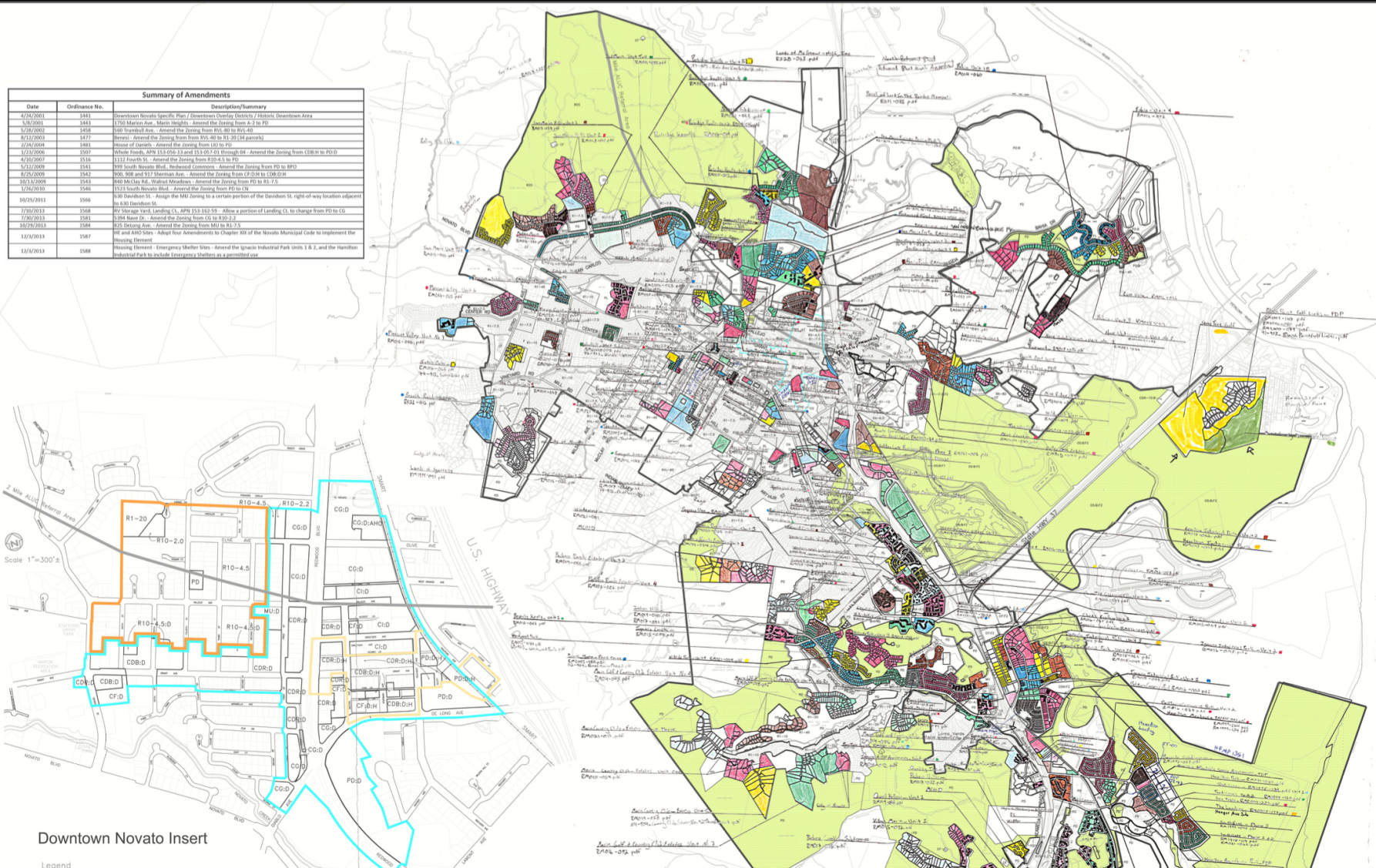
BY Leinatha Le

### 4. FOR OFFICE USE ONLY

ORDINANCE SECTION 24.10.160 CASE NO. ZC 11-0066  
DATE APPROVED 3/7/11 BY JANICE LUM  
DATE DENIED \_\_\_\_\_ BY \_\_\_\_\_  
REASON FOR DENIAL \_\_\_\_\_  
COMMENTS APPLICANT HAVE OCCUPATION REGULATIONS



Date	Ordinance No.	Description/Summary
4/24/2003	1541	Downtown Novato Specific Plan / Downtown Overlay Districts / Historic Downtown Area
5/8/2003	1543	1700 Marinon Ave. Martin Heights. Amended the zoning from A-2 to PD
5/28/2003	1546	740 Truxtun Ave. Amended the zoning from RVL-40 to RVL-40P
8/22/2003	1577	Barnes. Amended the zoning from RVL-40 to R1-20 (34 parcels)
1/24/2004	1581	Repeal of Ordinance. Amended the zoning from R1-20 to PD
3/23/2006	1597	Whole Foods. APN 153-056-13 and 153-05-03 through 04. Amended the zoning from CDB-H to PD-D
4/20/2007	1516	1113 Fourth St. Amended the zoning from R10-4.5 to PD
3/22/2009	1544	390 South Square Blvd. Redwood Cottages. Amended the zoning from PD to BPO
8/29/2009	1543	900, 908 and 917 Sherman Ave. Amended the zoning from CF-DH to CDB-DH
10/13/2009	1542	400 McKinley St. Village Meadows. Amended the zoning from PD to R1-7.5
12/29/2010	1546	1521 South Novato Blvd. Amended the zoning from PD to CDB
10/25/2011	1566	610 Davidson St. Assign the MU zoning to a certain portion of the Davidson St. right of way location adjacent to 630 Davidson St.
7/20/2013	1568	RV Storage Yard. APN 153-142-59. Allow a portion of landing CL to change from PD to CG
11/05/2013	1581	1204 West St. Amended the zoning from CG to R1-7.5
10/29/2013	1584	825 Delaney Ave. Amended the zoning from MU to R1-7.5
12/9/2013	1587	HE and AHU Sites. Adopt four Amendments to Chapter 9X of the Novato Municipal Code to implement the Housing Element.
12/9/2013	1588	Housing Element - Emergency Shelter Sites. Amended the specific industrial Park units 1 & 2, and the Hamilton Industrial Park to include Emergency Shelters as a permitted use.



Downtown Novato Insert

Legend

- RR RURAL RESIDENTIAL
- RVL VERY LOW DENSITY RESIDENTIAL
- R1 LOW DENSITY RESIDENTIAL
- R4 MEDIUM DENSITY DETACHED RESIDENTIAL
- R5 MEDIUM DENSITY RESIDENTIAL
- R10 MEDIUM DENSITY MULTIPLE FAMILY RESIDENTIAL
- R20 HIGH DENSITY MULTIPLE FAMILY RESIDENTIAL
- BPO BUSINESS AND PROFESSIONAL OFFICE
- CN NEIGHBORHOOD COMMERCIAL
- CG GENERAL COMMERCIAL
- CDR DOWNTOWN CORE RETAIL
- CDB DOWNTOWN CORE BUSINESS
- CI COMMERCIAL/INDUSTRIAL
- MU MIXED USE
- REI RESEARCH/EDUCATION-INSTITUTIONAL
- LIO LIGHT INDUSTRIAL/OFFICE
- CON CONSERVATION
- AG AGRICULTURE
- OS OPEN SPACE
- ROS RESTRICTED OPEN SPACE
- CF COMMUNITY FACILITIES
- PL PARKLAND
- PD PLANNED DISTRICT  
(Refer to adopted Master Plan for each site)
- Publicly Open Space Lands

**OVERLAY ZONING DISTRICTS**  
 Numeric extensions to the primary zoning district follow a ( ) and define the minimum site area required in square feet divided by 1,000. (e.g., R1-7.5 = 7500 sq. ft.)  
 Alpha extensions to the primary zoning district follow a ( ) and represent an overlay zoning district where special provisions apply as follows:  
 AH=Affordable Housing Opportunity    H=Historic  
 FH=Future Hazard or Regulation District    SH=Shoreline  
 P=Preserved    D=Downtown

**NOVATO ZONING MAP**  
 ADOPTED: April 24, 2001    ORDINANCE NO. 1441

- CITY LIMITS
- URBAN GROWTH BOUNDARY (UGB)
- CONTIGUOUS WITH THE CITY LIMIT BOUNDARY
- AIRPORT LAND USE COMMISSION (ALUC) DISTRICT AREA

# Zoning Portal



Zoning regulations can be complex. This tool simplifies the site selection process by showing you where your project is permitted.

[Start Now](#)

This service is provided by the City of San Diego to help the public access zoning information around the clock. If you cannot find a use that matches your business activity, please call us at 619-446-5000. As San Diego has grown, certain developments have gained approvals for land uses that may vary from underlying codes. While every effort has been made to normalize uses across the City, some discrepancies may exist as we continue to refine this tool. We encourage users to reach out to staff for a second opinion if you cannot find the use you are interested in or if your use appears as prohibited.

Those persons with disabilities who require auxiliary aids or services in using City facilities, programs, or services may call 619-236-5979 | TTY: 711 to talk to the Office of ADA Compliance and Accessibility.

[About](#) | [Terms of Service](#) | [Privacy Policy](#)

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© Mapbox © OpenStreetMap [Improve this map](#)



## What type of business are you planning to open?



Restaurant



Office



Trade School



Medical  
Office



Tasting  
Room

rest



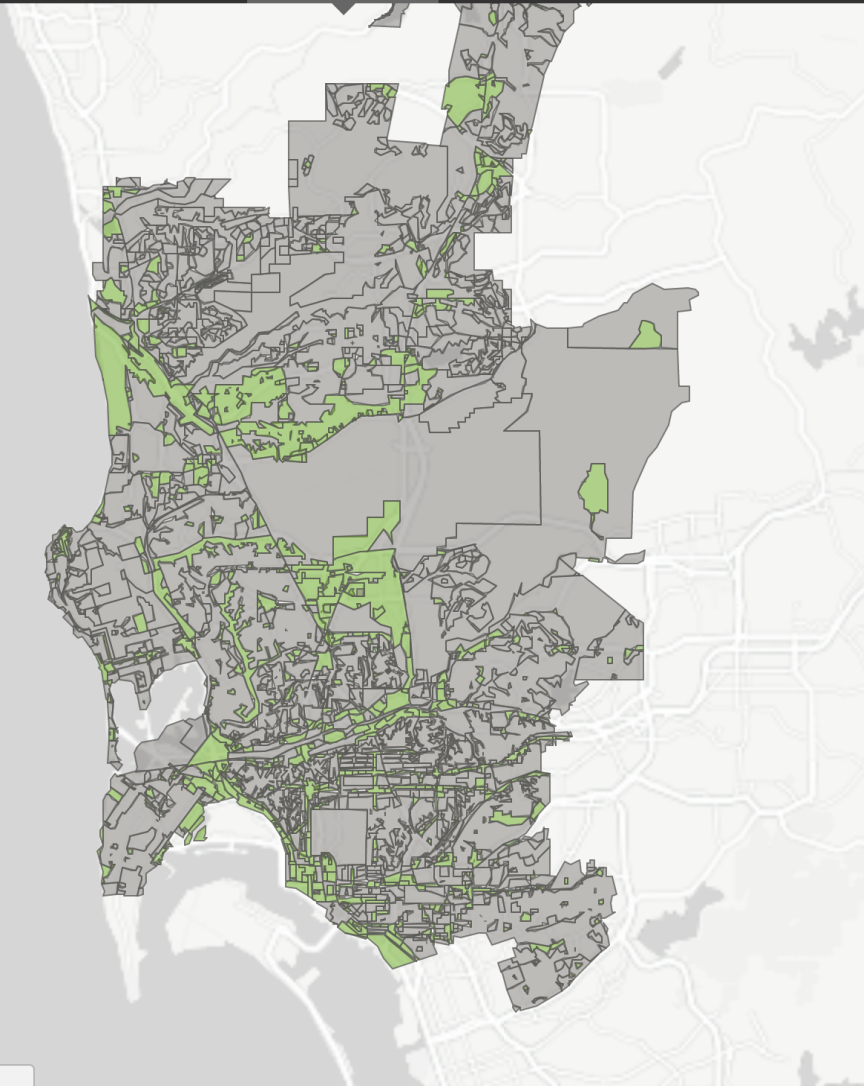
Institutional > Separately Regulated Institutional Uses > Wireless communication facility outside the public right-of-way

Commercial > Services > Eating & Drinking Establishments

Commercial > Services Separately Regulated > Adult Entertainment - Adult Cabaret

Commercial > Services Separately Regulated > Nightclubs & Bars Over 5,000 Square Feet in Size

Commercial > Services Separately Regulated > Pushcarts - Pushcarts in Public Right-of-Way



Permitted  
 Prohibited

Waiting for api.tiles.mapbox.com...

## Eating & Drinking Establishments

Your address:

Will you have live entertainment or sell alcohol other than beer and wine?

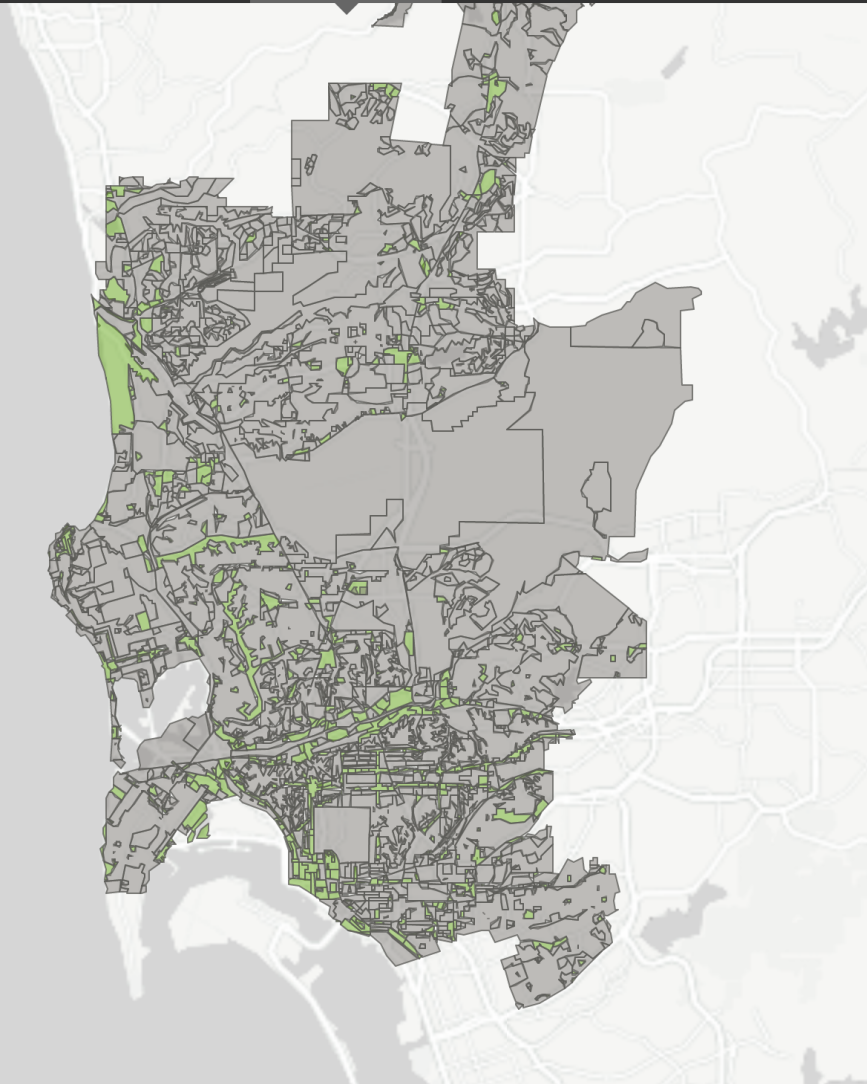
Will your establishment exceed 3,000 square feet of gross floor area?

Will you primarily only be selling alcoholic beverages?

Will your establishment exceed 1,000 square feet of gross floor area?

Will you have live entertainment before 9am or after midnight?

Will you have live entertainment?



Permitted  
 Prohibited

## Eating & Drinking Establishments

Your address:

Will you have live entertainment or sell alcohol other than beer and wine?

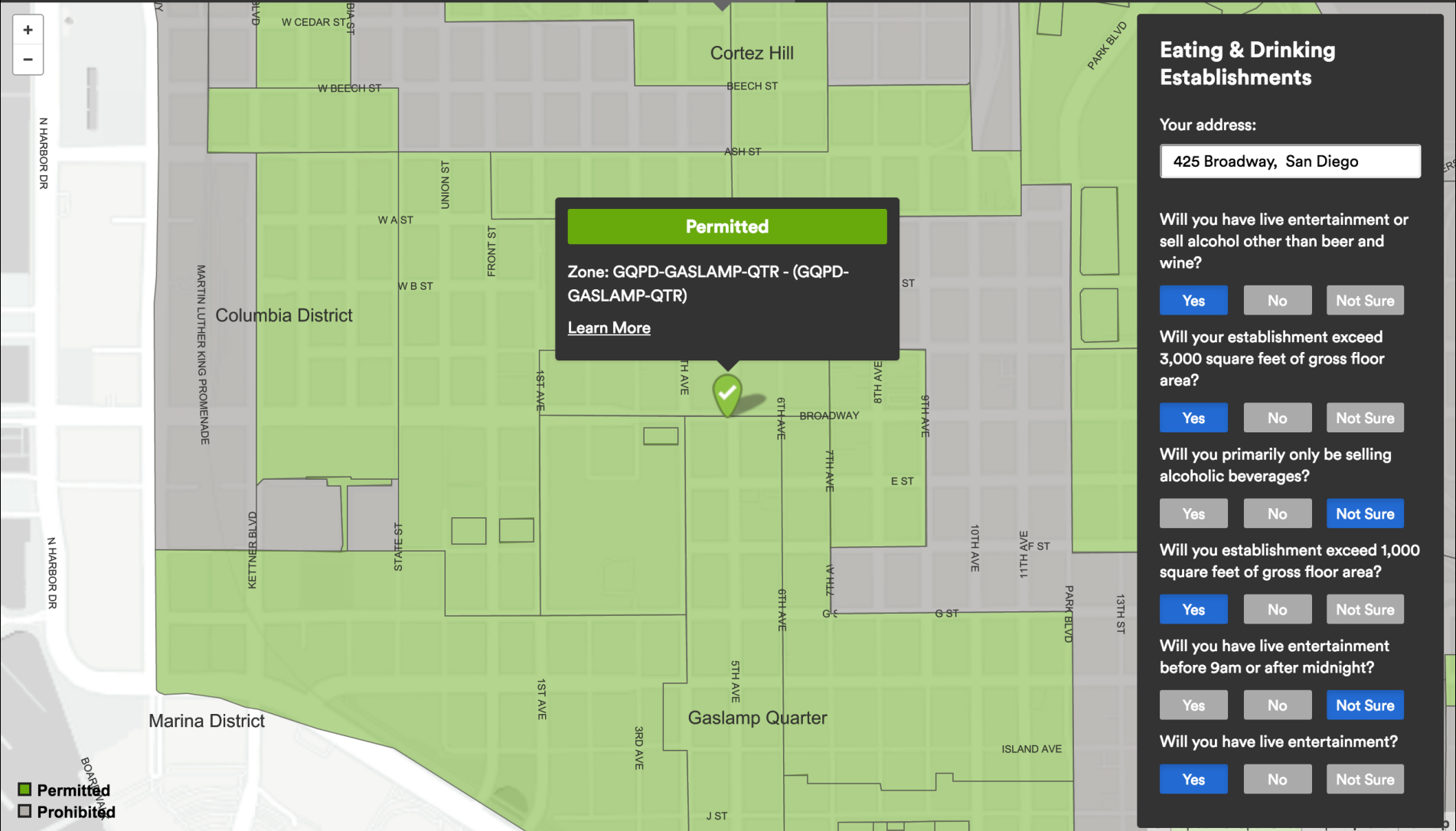
Will your establishment exceed 3,000 square feet of gross floor area?

Will you primarily only be selling alcoholic beverages?

Will your establishment exceed 1,000 square feet of gross floor area?

Will you have live entertainment before 9am or after midnight?

Will you have live entertainment?



### Eating & Drinking Establishments

Your address:

425 Broadway, San Diego

Will you have live entertainment or sell alcohol other than beer and wine?

Will your establishment exceed 3,000 square feet of gross floor area?

Will you primarily only be selling alcoholic beverages?

Will your establishment exceed 1,000 square feet of gross floor area?

Will you have live entertainment before 9am or after midnight?

Will you have live entertainment?



## Eating & Drinking Establishments

**Permitted** at 425 Broadway, San Diego

Zoning District: **(GQPD-GASLAMP-QTR)**

Zoning Description: The downtown area of the City of San Diego began within the area currently known as the Gaslamp Quarter Planned District and contains the highest concentration of historically significant commercial structures in the City of San Diego. In 1980, the entire Gaslamp Quarter Planned District was listed as a historical district on the National Register of Historic Places. The National Register designation includes, but it not limited to, architecturally significant structures built between 1873 and 1930. The purpose of the Gaslamp Quarter Planned District Ordinance is to establish design and development criteria to ensure that the development and redevelopment of the Gaslamp Quarter Planned District (District) and Gaslamp Quarter Historical District implement the goals of the Downtown Community Plan.

Zoning Overlays: **Geological Hazards Category 13**  
**Airports: FAA Height Notification**  
**Gaslamp Quarter Business Improvement District (BID)**  
**Council District 3**  
**DOWNTOWN**  
**Designated Historical District**  
**San Diego International Airport - Airport Influence Area (AIA)**  
**Residential Tandem Parking Overlay (RTPOZ)**  
**Transit Area Overlay (TAOZ)**

Use Description: 131.0112.a.6.C - Uses that prepare or serve food or beverages for consumption on or off the premises. Businesses serving or selling prepared food or beverages, including alcoholic beverages for consumption on the premises. This includes but is not limited to restaurants, cafes, cocktail lounges, bars, and taverns with live entertainment. Drive-through food establishments are not permitted.

A permitted use is allowed with minimal staff review, provided that your planned activities don't include excessive noise, pollution, traffic or other adverse affects on your neighbors.

Previous

Submit Zoning Inquiry

### Zoning Inquiry

To submit a zoning inquiry to the city for further review and assistance, please enter your information in the form below and then click submit. We will also include the details from your zoning search.

Peter Koht

peter@opencounter.com

I'm interested in this location, and would like to learn more about the parcel specifics

Submit

Zoning

area currently known as the concentration of historically 1980, the entire Gaslamp the National Register of Historic Places. The National Register designation includes, but is not limited to, architecturally significant structures built between 1873 and 1930. The purpose of the Gaslamp Quarter Planned District Ordinance is to establish design and development criteria to ensure that the development and redevelopment of the Gaslamp Quarter Planned District (District) and Gaslamp Quarter Historical District implement the goals of the Downtown Community Plan.

Zoning Overlays:

- Geological Hazards Category 13**
- Airports: FAA Height Notification**
- Gaslamp Quarter Business Improvement District (BID)**
- Council District 3**
- DOWNTOWN**
- Designated Historical District**
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A permitted use is allowed with minimal staff review, provided that your planned activities don't include excessive noise, pollution, traffic or other adverse effects on your neighbors.

Previous

Submit Zoning Inquiry

# Business Portal

# Starting, Growing & Financing Your Business

The City of San Diego's strong economy, diverse population, great educational institutions, unsurpassed quality of life, and world-renowned location make it the ideal place to do business, to work, and to live. Because of its highly-educated workforce and mix of high-tech industry and recreational assets, a marketing consortium of high-tech industries has dubbed San Diego "Technology's Perfect Climate."

[Get Started!](#)

[VIEW YOUR EXISTING APPLICATIONS](#)



✔ You are now editing your application.

- BASICS**
- Business Type
- Location
- A Note About Using This Site
- OPERATIONS
- SITE
- NEXT STEPS
- SUMMARY

## Basics

The information you provide on these pages will help us estimate fees and determine necessary permits.

To get started, provide your business name below.

**Business Name \***

[← Back](#) [Continue →](#)















## Business Type

What business are you opening?

You may select your Use by choosing a featured icon or clicking to view the entire list of uses. Alternatively, you can type a use in the search box below and we will return a use if a match is found in our database. If nothing is returned, please try another term.

Type of business you would like to open \*

### Common Business Types

 NURSERIES	 TRADE SCHOOL	 RETAIL (CLOTHES)	 TASTING ROOM	 RESTAURANT
 INSTRUCTIONAL STUDIO	 BARBER OR BEAUTY SALON	 BED & BREAKFAST	 PET DAY CARE	 CHILD CARE CENTER
 SIDEWALK CAFE	 OFFICE	 MEDICAL OFFICE	 LIGHT MANUFACTURING	

[VIEW ALL BUSINESS TYPES](#)

### Search

- Commercial > Services > Eating & Drinking Establishments
- Commercial > Services Separately Regulated > Adult Entertainment - Adult Cabaret
- Commercial > Services Separately Regulated > Nightclubs & Bars Over 5,000 Square Feet in Size

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**BASICS**

- Business Type
  - Business Type Details**
  - Location
  - A Note About Using This Site
- OPERATIONS
- SITE
- NEXT STEPS
- SUMMARY

## Business Type Details

Please enter the following information to help us understand the scope of your land use.

Will your establishment exceed 3,000 square feet of gross floor area?

- Yes
- No
- Not Sure

Will you have live entertainment or sell alcohol other than beer and wine?

- Yes
- No
- Not Sure

Will you primarily only be selling alcoholic beverages?

- Yes
- No
- Not Sure

Will your establishment exceed 1,000 square feet of gross floor area?

- Yes
- No
- Not Sure

Will you operate a drive-in or drive-through?

- Yes
- No
- Not Sure

Will you have live entertainment?

- Yes
- No
- Not Sure

[← Back](#) [Continue →](#)



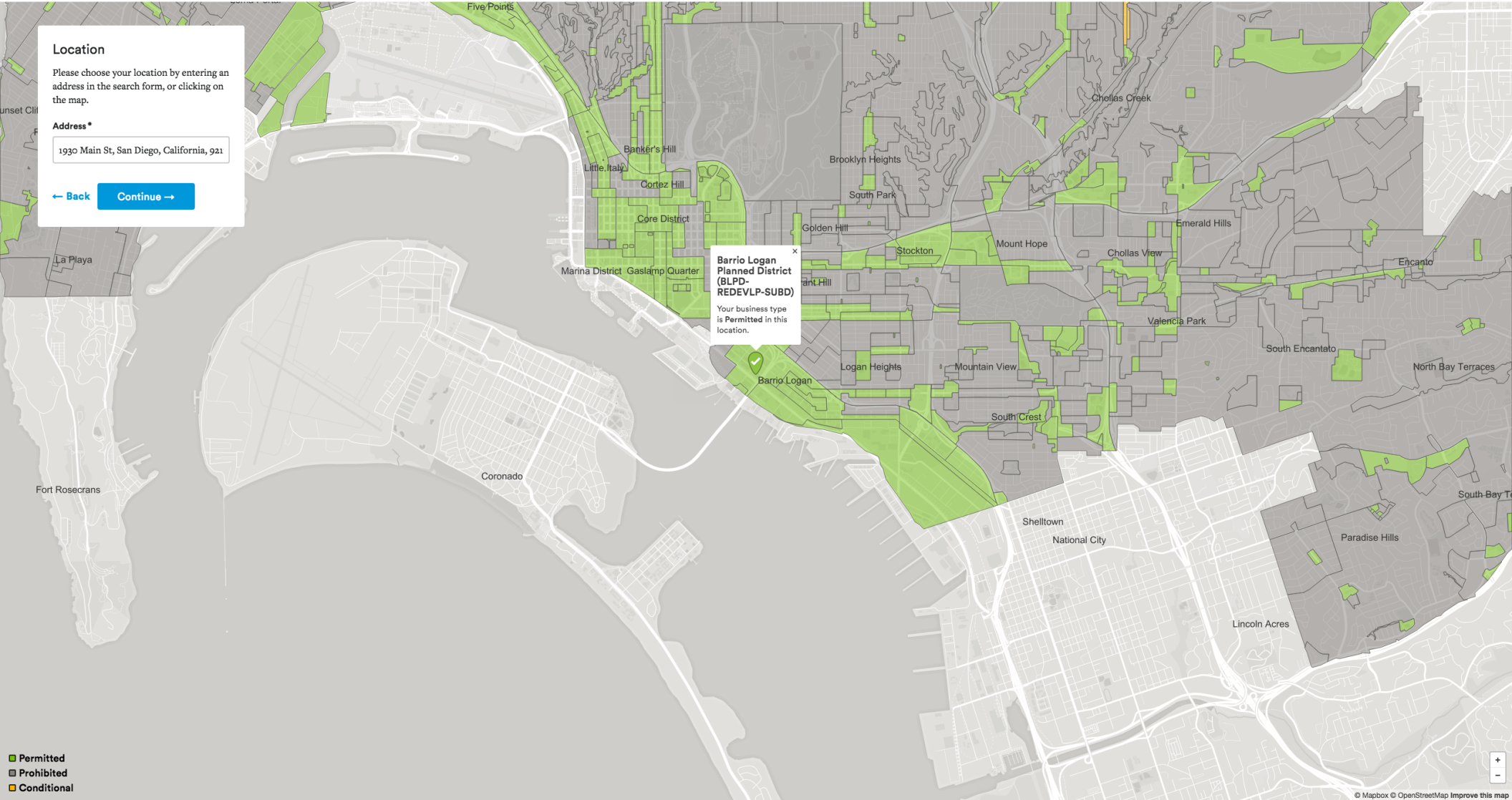
**Location**

Please choose your location by entering an address in the search form, or clicking on the map.

**Address \***

1930 Main St, San Diego, California, 921

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BASICS

**OPERATIONS**

Business Details

Applicant

Entertainment

SITE

NEXT STEPS

SUMMARY

## Business Details

Tell us a little more about your business.

Suite Number, if applicable.

Employee Count\*

Business Phone Number

Business Email Address

Number of owners/officers associated with this business

Business Square Footage\*

Does the name of your business include your last name or the last names of any other business owners?

Yes  No  Not Sure

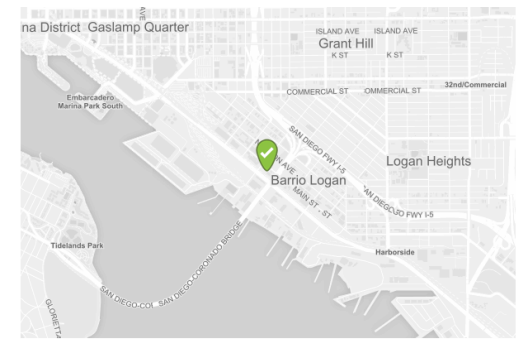
Provide a detailed description of your business.

This is going to be the best restaurant ever.

[← Back](#) [Continue →](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



### Permits (2)

- CITY

Alarm Permit	\$18.00
Zoning Use Certificate	\$17.00

TOTAL: \$35.00

BASICS

**OPERATIONS**

- ✓ Business Details
- ✓ Applicant
- Entertainment

SITE

NEXT STEPS

SUMMARY

## Entertainment

Will you have live entertainment?

Live Entertainment  
 Live Entertainment After Hours (between 2am-6am)  
 No Live Entertainment

Will you serve alcohol?

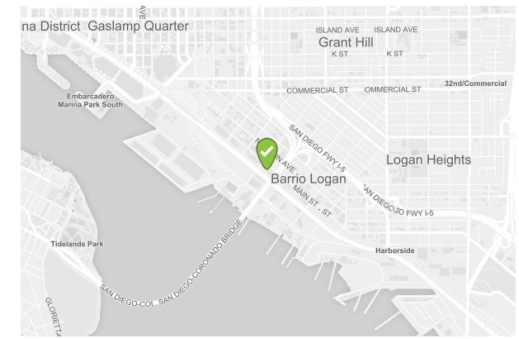
Will you host bingo games?

Will you operate a sidewalk cafe? ⓘ

[← Back](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



### Permits (4)

- CITY	
Alarm Permit	\$18.00
Business Tax Certificate	\$375.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$452.00</b>



BASICS

**OPERATIONS**

- ✓ Business Details
- ✓ Applicant
- ✓ Entertainment
- Sidewalk Cafe**

SITE

NEXT STEPS

SUMMARY

## Sidewalk Cafe

Sidewalk cafes are permitted with some limitations.

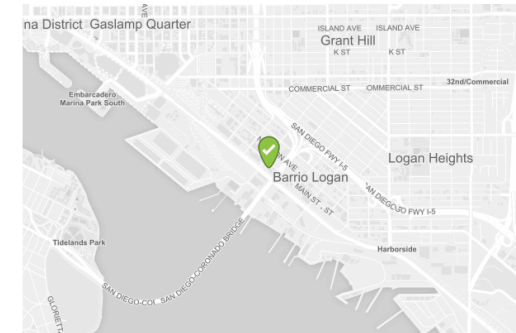
Please check the box next to the statement if you are able to comply with the regulations below. If you are not able to comply with any of the statements below, your application can still be considered, but under a different process (Process Two Neighborhood Use Permit).

- Portable heaters, if provided, shall be located a minimum of 4 feet away from the exterior face of the building and from any combustible materials, including architectural projections, or in accordance with manufacturer recommendations, whichever is most restrictive.
- The hours of operation of a sidewalk cafe shall be limited to the hours that the kitchen facilities of the associated eating and drinking establishment are open for meal ordering. Alcohol, food, or beverages shall not be served or permitted within the sidewalk cafe after 10:00 p.m. Sunday through Thursday, and after 11:00 p.m. Friday through Saturday.
- A sidewalk cafe shall comply with all State of California Department of Alcoholic Beverage Control license requirements, as applicable.
- The sidewalk within, and adjacent to, the sidewalk cafe shall be clean and free of litter at all times.
- Musical instruments or sound reproduction devices shall not be operated or used within a sidewalk cafe. For purposes of enforcement of Chapter 5, Article 9.5, the property line shall be considered the boundary of a sidewalk cafe.
- Outdoor cooking and preparation of food within the public right-of-way is prohibited.
- A sidewalk cafe may provide either waiter/waitress service or self-service.
- Smoking or vaping is not permitted within a sidewalk cafe at any time. For purposes of this section, the terms smoke, smoking, vape, and vaping have the same meanings as in San Diego Municipal Code section 43.1001.
- Trash or storage areas shall not be located on or adjacent to the public right-of-way.
- A copy of the approved Public Right-of-Way Permit or Building Permit, as applicable, for a sidewalk cafe shall be posted on the premises of the associated eating and drinking establishment.

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## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



### Permits (4)

— CITY

Alarm Permit	\$18.00
Business Tax Certificate	\$375.00
Zoning Use Certificate	\$17.00

— COUNTY

Fictitious Business Name	\$42.00
--------------------------	---------

TOTAL: \$452.00

- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Type of Work
- NEXT STEPS
- SUMMARY

## Building Project Overview

Provide an overview of your building project by answering the questions below.

**Scope of Work**

Tenant Improvement

**Estimated Cost of Project**

250000

**Will you be working with a licensed contractor?**

Yes  No  Not Sure

**Will you work with a licensed design professional?**

Architect  
 Engineer  
 None

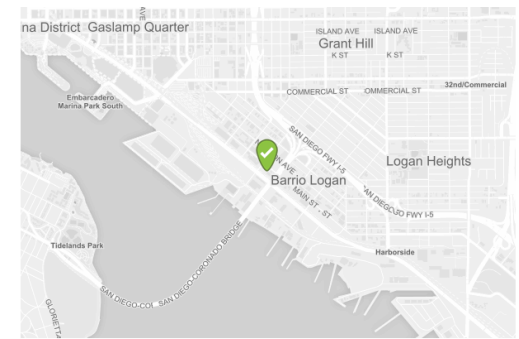
**Provide a detailed description of your building project below.**

Complete tenant improvement

[← Back](#) [Continue →](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (5)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$10.00
Business Tax Certificate	\$375.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$462.00</b>

- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Tenant Improvement
- Type of Work
- TEAM
- NEXT STEPS
- SUMMARY

## Tenant Improvement

Details about the existing site will help determine appropriate fees.

For the location you have selected, is the use you are proposing different than the existing use?

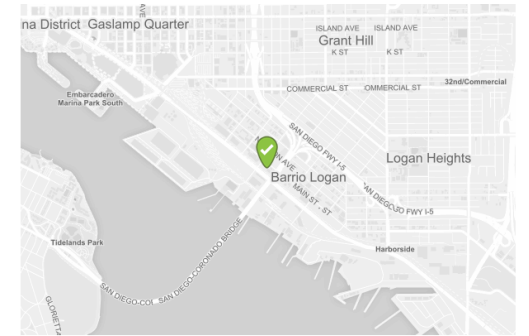
Are you the first tenant to occupy this space?

Number of floors

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## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (5)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$5,777.20</b>



- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Tenant Improvement
- Change of Use
- Type of Work
- TEAM
- NEXT STEPS
- SUMMARY

## Change of Use

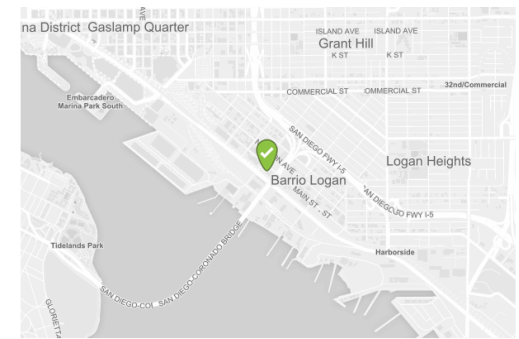
Since you'll be changing the use of the site, please tell us what currently exists.

Select the option that most closely identifies the current/existing use of the structure.

[← Back](#) [Continue →](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (6)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$0.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$5,777.20</b>

- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Tenant Improvement
- Change of Use
- Type of Work
- TEAM
- NEXT STEPS
- SUMMARY

## Type of Work

Building projects may include work done by specific trades, including plumbing, mechanical, electrical. What type of work will you be doing on your building project?

Will you be adding or altering any electrical wiring?

Will you be adding or altering any heating, air conditioning, and/or ventilation systems?

Will you be adding or altering any plumbing?

Does the project include any permanent or temporary alterations or impacts to the exterior (cutting-patching-access-repair, roof repair or replacement, windows added-removed-repaired-replaced, etc)?

Does the project include any foundation repair, digging, trenching or other site work?

Will you be demolishing or completely removing any structures from the site?

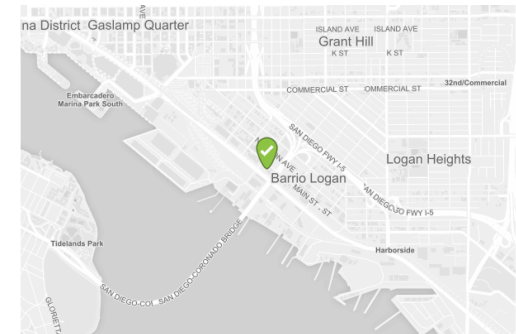
Will you be doing work in the right-of-way (e.g. driveways, sidewalks, curb, pedestrian ramps)?

Will you be adding or altering any signs?

[← Back](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (6)

- CITY

Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$29,445.00
Zoning Use Certificate	\$17.00

- COUNTY

Fictitious Business Name	\$42.00
--------------------------	---------

TOTAL: \$35,222.20

- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Tenant Improvement
- Change of Use
- Type of Work
  - Electrical**
  - Plumbing
  - Sign
- TEAM
- NEXT STEPS
- SUMMARY

## Electrical

Provide additional detail regarding your electrical work.

Will you be working with a licensed electrician?

Number of Circuits between 15-45 Amps

Number of Circuits between 50-200 Amps

Number of Circuits between 225-400 Amps

Number of Circuits between 450-1000 Amps

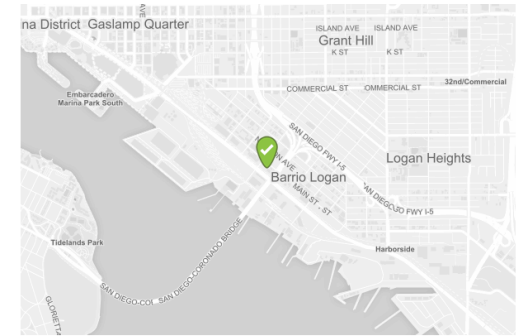
Number of Circuits over 1200 Amps

Will you install a solar system?

[← Back](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (10)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$29,445.00
Electrical Permit	\$20.00
Mechanical Permit	\$54.50
Plumbing Permit	\$479.00
Sign Permit	\$30.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$35,805.70</b>

- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Tenant Improvement
- Change of Use
- Type of Work
- Electrical
- Plumbing**
- Sign
- TEAM
- NEXT STEPS
- SUMMARY

## Plumbing

Provide additional detail about your plumbing work below.

Will you be working with a licensed plumber?

Will you be installing or modifying a bathroom?

If yes, how many fixtures will you install/modify?

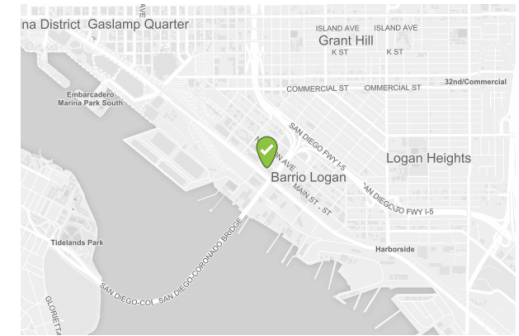
Will you be installing or modifying a kitchen?

If yes, how many fixtures will you install/modify?

[← Back](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (10)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$29,445.00
Electrical Permit	\$1,277.00
Mechanical Permit	\$54.50
Plumbing Permit	\$479.00
Sign Permit	\$30.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$37,062.70</b>



- BASICS
- OPERATIONS
- SITE**
- Building Project Overview
- Tenant Improvement
- Change of Use
- Type of Work
- Electrical
- Plumbing
- Sign
- TEAM
- NEXT STEPS
- SUMMARY

## Sign

### What kind of signs will you be installing?

Different signs are associated with different plan check fees and inspection requirements. You will need to submit a site and elevation plan, which includes sign dimensions, sign copy (words, symbols, emblems), tenant frontage, and connection details/attachments). For more information regarding signs, please read [Info Bulletin 111](#).

Number of Awning, Directional or Wall Signs (if electric, must be self-contained)

Number of Banner Signs

Number of Electric Wall Signs (with remote supply)

Number of Freeway Signs

Number of Roof/Projecting Signs - Non-Electrical

Number of Roof/Projecting Signs - Electrical

← Back

Continue →

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



### Permits (10)

- CITY

Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$29,445.00
Electrical Permit	\$1,277.00
Mechanical Permit	\$54.50
Plumbing Permit	\$1,167.00
Sign Permit	\$30.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00

TOTAL:

\$37,750.70

- BASICS
- OPERATIONS
- SITE
- TEAM**
- Contractor
- Design Professional
- Plumber
- Electrician
- HVAC/Mechanical Engineer
- NEXT STEPS
- SUMMARY

## Contractor

Provide contact information for your contractor below.

**First Name**

**Last Name**

**Address 1**

**Address 2**

**City**

**State**

**Postal Code**

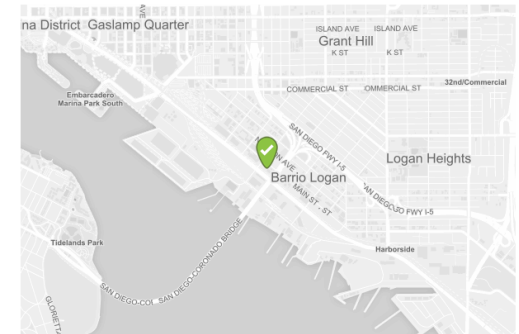
**Email**

**Telephone**

[← Back](#) [Continue →](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (10)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$29,445.00
Electrical Permit	\$1,277.00
Mechanical Permit	\$54.50
Plumbing Permit	\$1,167.00
Sign Permit	\$661.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$38,381.70</b>

- BASICS
- OPERATIONS
- SITE
- TEAM
- NEXT STEPS**
- Next Steps
- SUMMARY

## Next Steps

Economic Development and Development Services' worked together to provide this tool to help you make an informed business decision.

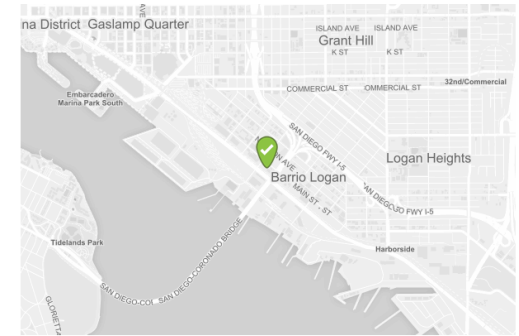
In general, opening a business requires compliance with San Diego Municipal Code (SDMC) and California Building Code (CBC). SDMC regulates factors related to what type and where a business can be located, limitations on when and how a business can operate, and development regulations. CBC regulates factors related to the type of construction and the type of mechanical, electrical, or plumbing systems a business requires.

If you are interested in pursuing this project, we encourage you to visit Development Services at 1222 1st Ave, San Diego, CA 92101 with the information you have submitted here.

[← Back](#) [Continue →](#)

## Demonstration Project

EATING & DRINKING ESTABLISHMENTS



## Permits (10)

- CITY	
Alarm Permit	\$18.00
Building Permit	\$5,325.20
Business Tax Certificate	\$375.00
Development Impact	\$29,445.00
Electrical Permit	\$1,277.00
Mechanical Permit	\$54.50
Plumbing Permit	\$1,167.00
Sign Permit	\$661.00
Zoning Use Certificate	\$17.00
- COUNTY	
Fictitious Business Name	\$42.00
<b>TOTAL:</b>	<b>\$38,381.70</b>

- BASICS
- OPERATIONS
- SITE
- TEAM
- NEXT STEPS

**SUMMARY**

You're All Set!

## Summary

Please review the information below, fill in any missing fields, and then click the 'Submit Application' button at the bottom of this page.

### Basics

Business Name *	Demonstration Project
-----------------	-----------------------

EDIT

### Business Type

Type of business you would like to open *	Commercial > Services > Eating & Drinking Establishments
---	--

EDIT

### Business Type Details

Will your establishment exceed 3,000 square feet of gross floor area?	Yes
Will you have live entertainment or sell alcohol other than beer and wine?	No
Will you primarily only be selling alcoholic beverages?	No
Will you establishment exceed 1,000 square feet of gross floor area?	Yes
Will you operate a drive-in or drive-through?	No
Will you have live entertainment?	No

EDIT

### Location

Address *	1930 Main St, San Diego, California, 92113
-----------	--

EDIT

### Operations

Will you be working with any hazardous material (e.g. combustibles, chemicals, toxins)?	No
---	----

EDIT

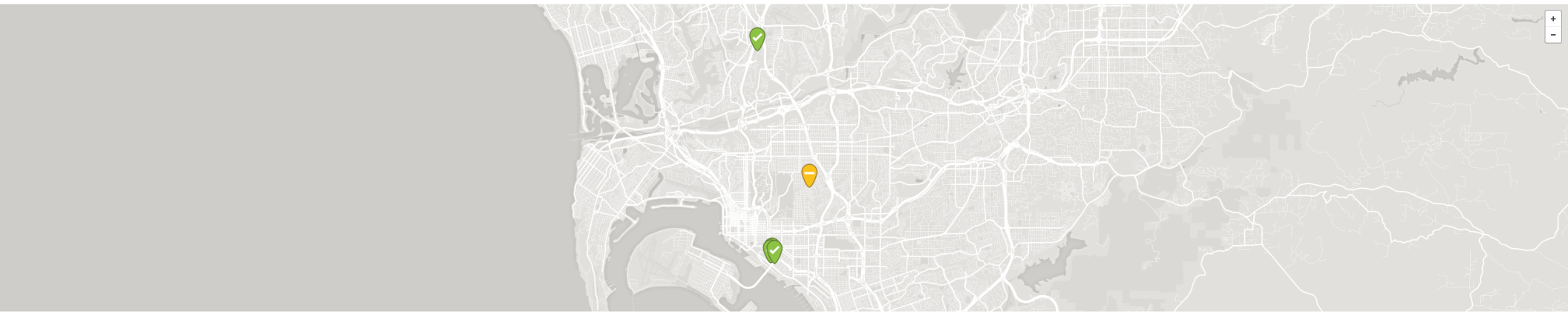


## Your Application Has Been Submitted

Someone from the City will be in touch shortly.  
But before you go... OpenCounter is a new tool and is still under development. We'd love to get your feedback on this process. How was it? Were you confused at any point? Did you have problems? What could we do better? Thanks in advance for your feedback.

This is great, thanks

Send Feedback



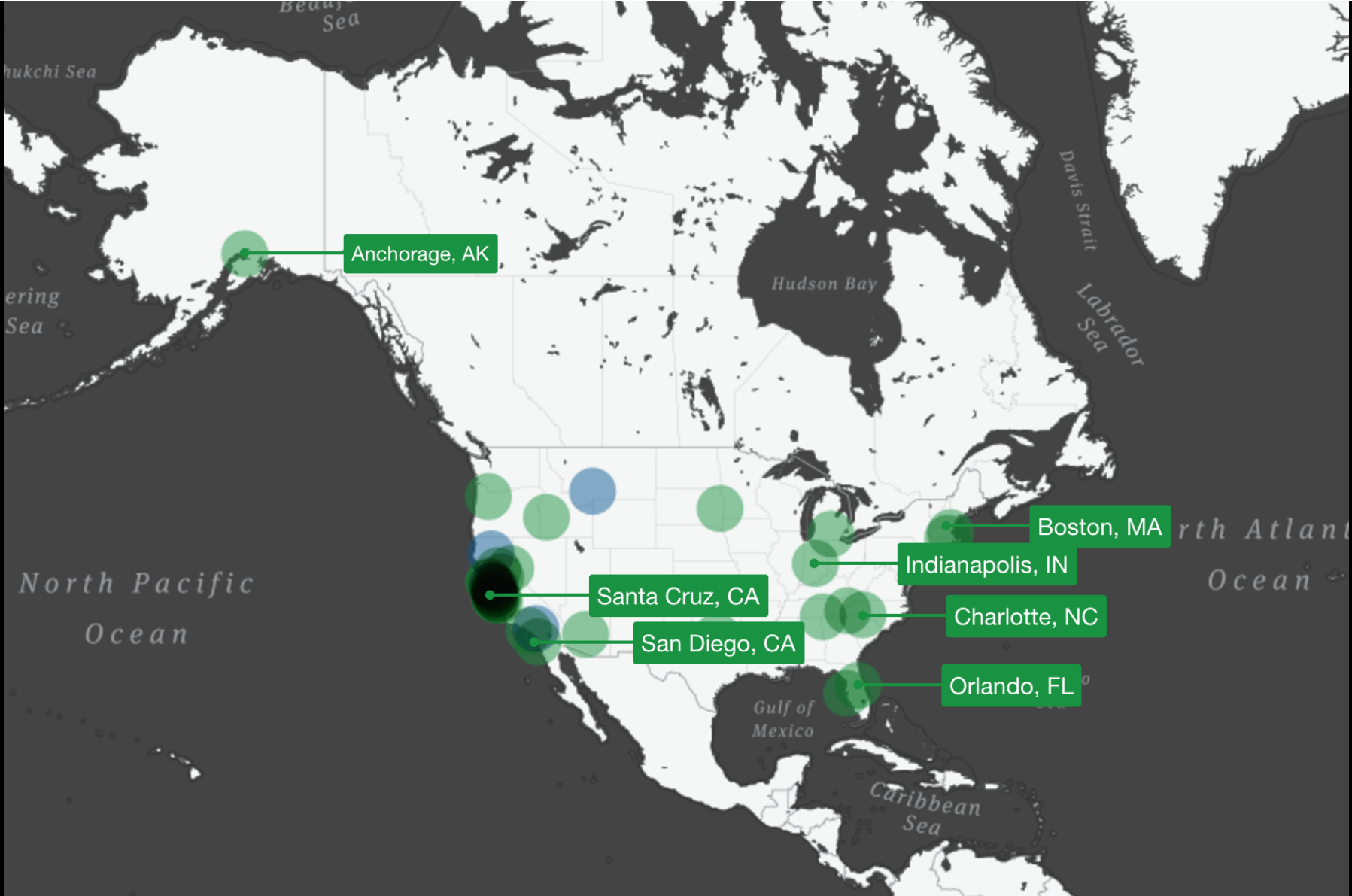
## Your Applications

BUSINESS NAME	ADDRESS	STARTED	SUBMITTED	FEES	RESUME	VIEW
Demonstration Project	1930 Main St, San Diego, California, 92113	09/23/2016		\$38,381.70	RESUME	VIEW
Demo for ED	2041 Newton Ave, San Diego, California, 92113	09/21/2016	09/21/2016	\$41,206.70	RESUME	VIEW
This is a test 6	2644 Bancroft St, San Diego, California, 92104	09/21/2016	09/21/2016	\$17,614.56		VIEW
This is a Test 5	1930 Main St, San Diego, California, 92113	09/21/2016		\$5,581.56	RESUME	VIEW
this is just a test 3	7944 Birmingham Dr, San Diego, California, 92123	09/20/2016		\$35.00	RESUME	VIEW

Start An Application



# OpenCounter Process



Anchorage, AK

Boston, MA

Indianapolis, IN

Santa Cruz, CA

Charlotte, NC

San Diego, CA

Orlando, FL

## Public Sector Experts

Our account team comes from the public sector

## No Integrators

No time and materials billing, we're your partners

## Software-as-a-Service

Hosted and managed solution, no perpetual licenses or big up-front costs and user continual development

## Agile Development

We use tools like Basecamp and Zendesk to manage the configuration and feedback processes



## Project Phases

### 1. Data Collection

(2 weeks)

### 2. Zoning and Land Use Import (Zoning Portal)

(6-8 weeks)

### 3. Permit Catalog (Fees, Rules)

(6-8 weeks)

### 4. Business Portal

(4 weeks)

### 5. Testing & Launch

(2 weeks min)



Thank You