

# EXHIBIT A

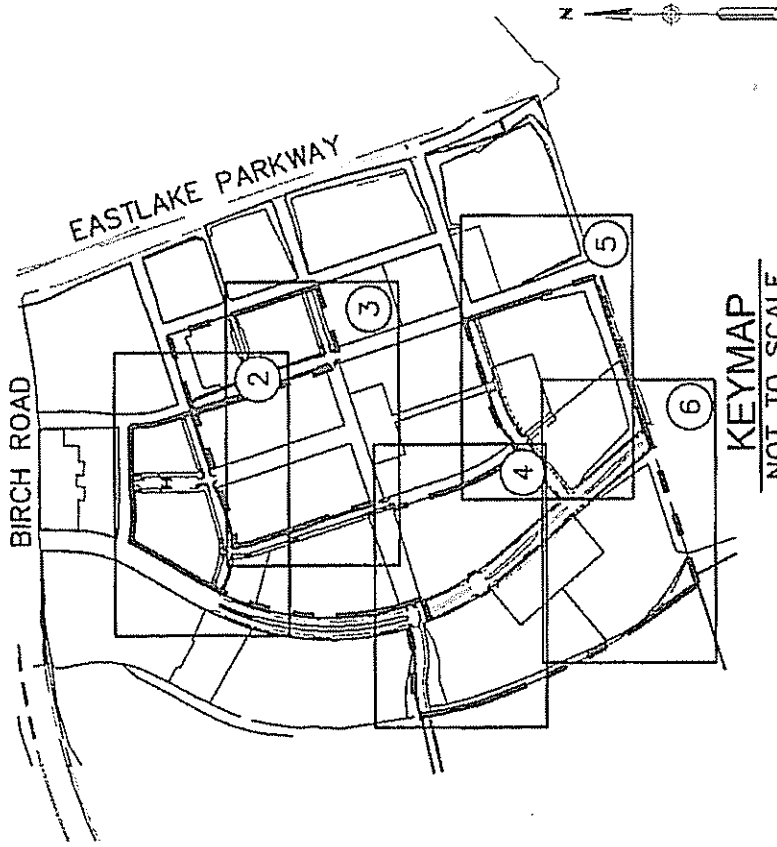
## LEGAL DESCRIPTION

Real property in the City of Chula Vista, County of San Diego, State of California, described as follows:

LOTS 1, 2, 3, 10, 11, 12 AND LOT L OF CHULA VISTA TRACT NO. 09-03 OTAY RANCH MILLENIA (EASTERN URBAN CENTER), IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15942, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SEPTEMBER 23, 2013.

APN: 643-060-26-00, 643-060-27-00, 643-060-28-00, 643-060-35-00, 643-060-36-00, 643-060-37-00 and 643-060-49-00

**EXHIBIT B  
PRIVATELY MAINTAINED RIGHTS-OF-WAY**



**KEYMAP**  
NOT TO SCALE

LEGEND (FOR SHEETS 2-6)	
	LANDSCAPING TO BE MAINTAINED BY MASTER HOME OWNER ASSOCIATION (MILLENNIA COMMUNITY ASSOCIATION)
	BIO-RETENTION BASIN MAINTENANCE SEE EXHIBIT "C-2"
	TO BE MAINTAINED TRANSIT AGENCY
	PHASE 2 BOUNDARY

**ABBREVIATIONS**

- FM = FINAL MAP
- TM = TENTATIVE MAP # PCS-09-03
- FS = FIRE STATION
- P = PARK SITE

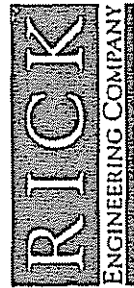


EXHIBIT B  
PRIVATELY MAINTAINED RIGHTS-OF-WAY

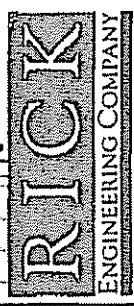
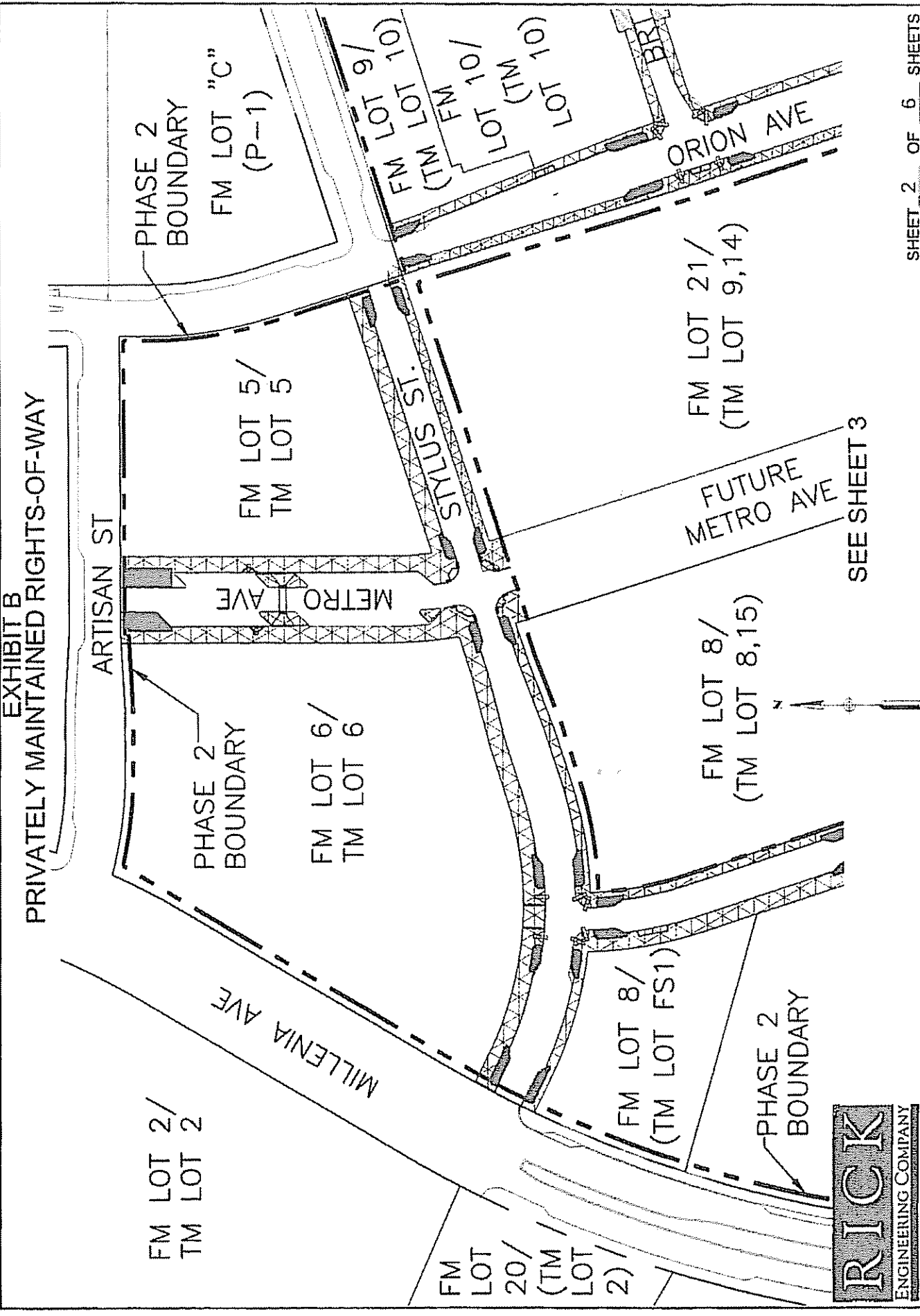


EXHIBIT B

PRIVATELY MAINTAINED RIGHTS-OF-WAY

SEE SHEET 2

SOLSTICE AVE

BRIDGE GUIDEWAY

FM LOT 11/  
(TM LOT 13)

PHASE 2  
BOUNDARY

FM LOT 12/  
(TM LOT 19)

FUTURE  
ORION AVE

ORION AVE

FM LOT 21/  
(TM LOT 9,14)

FM LOT 22/  
(TM LOT 18,23)

SEE SHEET 5

FUTURE  
METRO AVE

FM M/  
(TM LOT P3)

FM LOT 8/  
(TM LOT 8,15)

PHASE 2  
BOUNDARY

MONTAGE AVE

FM LOT 7/  
(TM LOT 7)

FM LOT E/  
(TM LOT P2)



EXHIBIT B

PRIVATELY MAINTAINED RIGHTS-OF-WAY SEE SHEET 3

FM LOT 1/  
(TM LOT 1)

PHASE 2  
BOUNDARY

BOB PLETCHER WAY

FM LOT 7/  
(TM LOT 7)

FM LOT E/  
(TM LOT P2)

PHASE 2  
BOUNDARY

FM LOT 16/  
(TM LOT 16)

FM LOT 19/  
(TM LOT 29)

MILLENNIA AVE

FM LOT D/  
(TM LOT P6)

PHASE 2  
BOUNDARY

FM LOT 15/  
(TM LOT  
17,24)

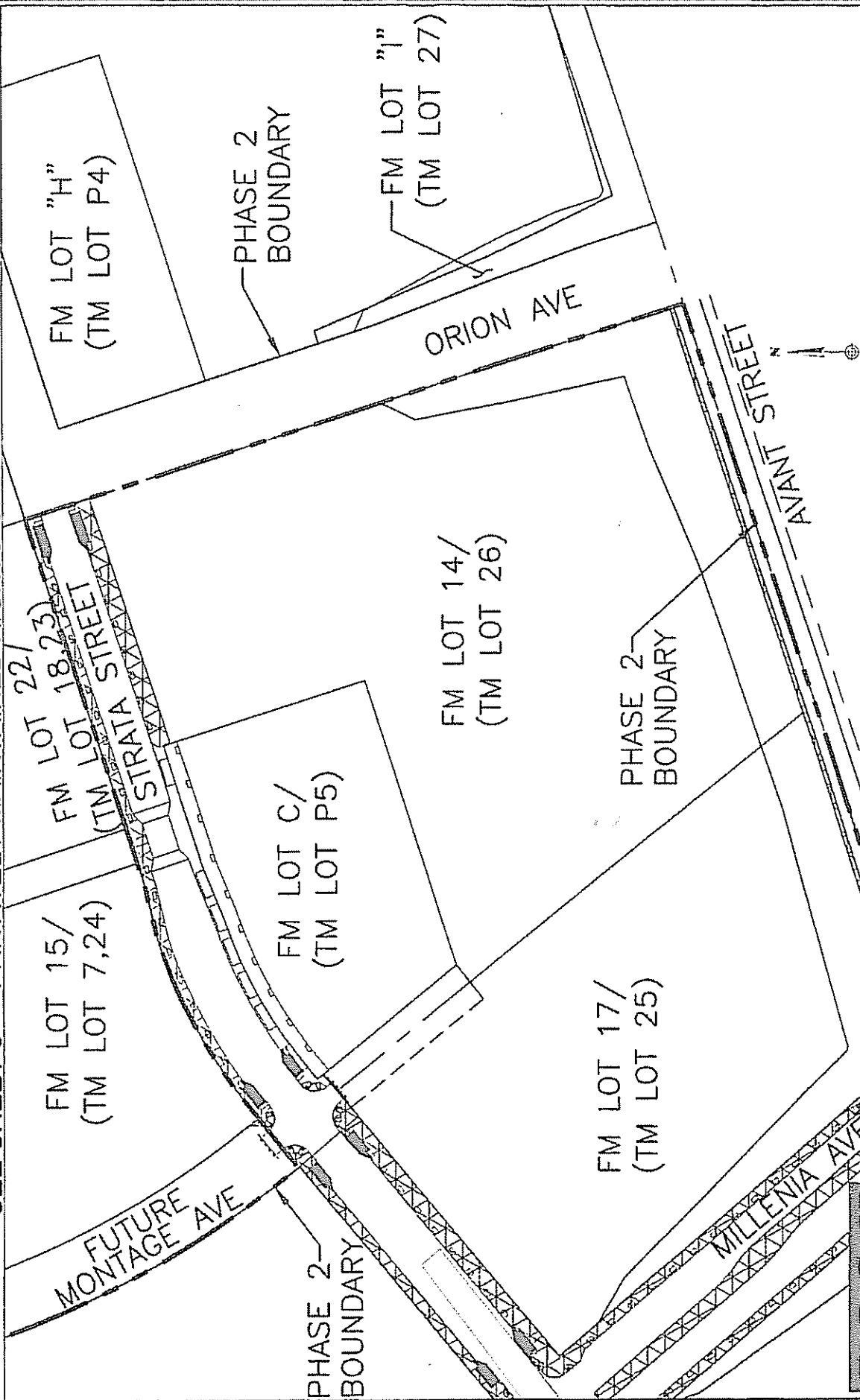
SEE SHEET 5

FUTURE  
MONTAGE AVE

SEE SHEET 6



EXHIBIT B  
SEE SHEET 3 PRIVATELY MAINTAINED RIGHTS-OF-WAY



SEE SHEET 6



EXHIBIT B

SEE SHEET 5

PRIVATELY MAINTAINED RIGHTS-OF-WAY

SEE SHEET 4

FM LOT 19/  
(TM LOT 29)

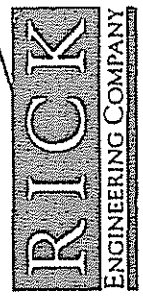
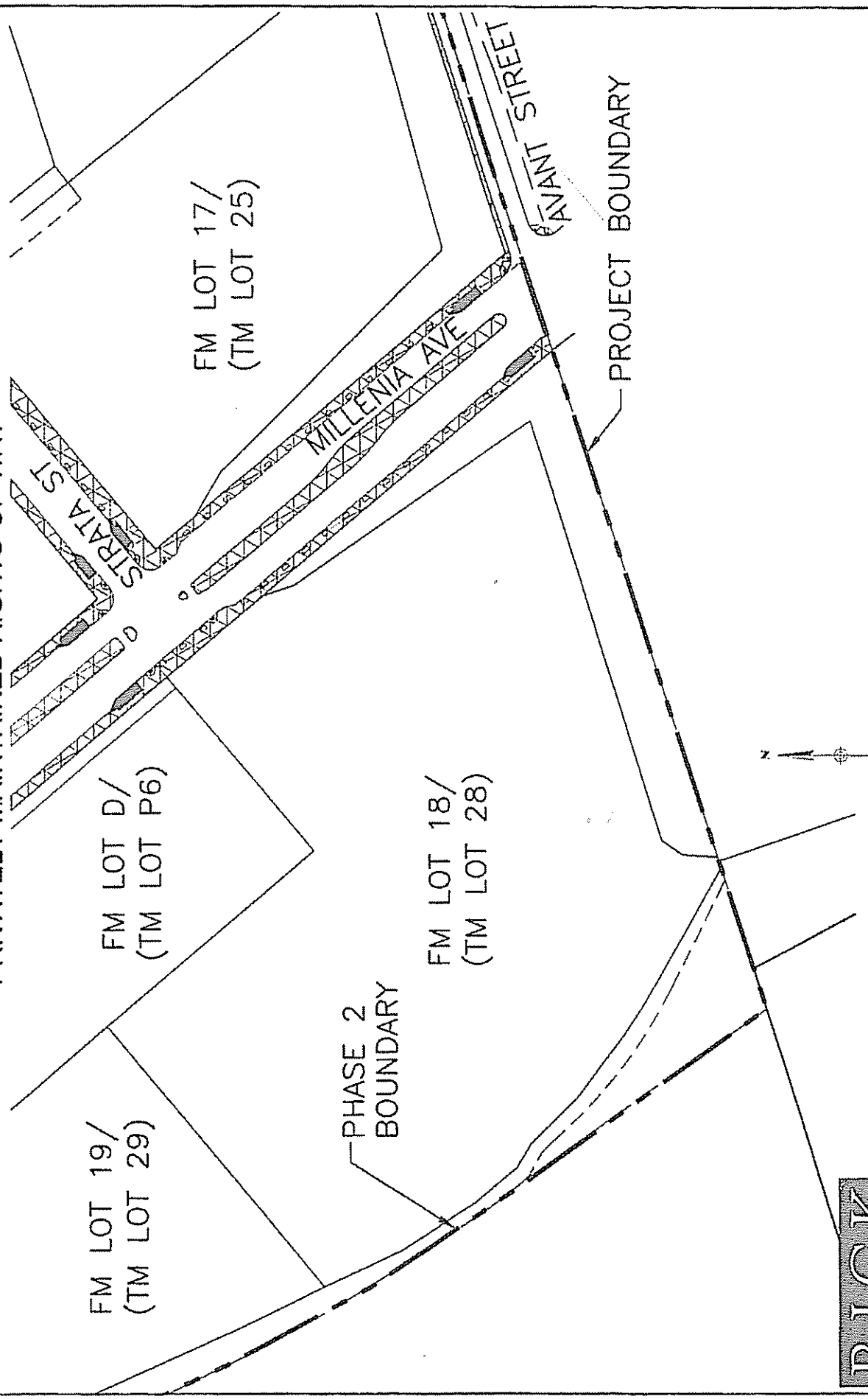
FM LOT D/  
(TM LOT P6)

FM LOT 17/  
(TM LOT 25)

FM LOT 18/  
(TM LOT 28)

PHASE 2  
BOUNDARY

PROJECT BOUNDARY



**EXHIBIT "C"**

**EXHIBIT "C-1"**

**Maintenance Responsibilities for Millenia**

<p><b>Area:</b> Those parkways, pedestrian corridors and medians of public roads as identified on Exhibit "B".</p>	
<p><b>Master Home Owners Association (MHOA) Maintenance</b></p> <ul style="list-style-type: none"> <li>• Street Trees – <i>inspect and maintain, trim and thin</i></li> <li>• Palm Trees – <i>inspect and maintain, trim and thin</i></li> <li>• Planting Areas – <i>maintain and fertilize</i></li> <li>• Bike Racks – <i>inspect and repair</i></li> <li>• Trash Receptacles – <i>inspect, clean and empty</i></li> <li>• Benches – <i>inspect and clean</i></li> <li>• Decorative Lighting – <i>inspect and maintain</i></li> <li>• Non-Standard street Lighting and up-lighting – <i>inspect and maintain</i></li> <li>• Irrigation (including heads and bubblers) – <i>monitor, adjust and inspect</i></li> <li>• Concrete (standard grey and exposed aggregate) – <i>clean/maintain and power wash</i></li> <li>• Unit Pavers – <i>clean, maintain, powerwash and replenish joint sand</i></li> <li>• Decomposed Granite – <i>smooth and clean, replenish in worn areas</i></li> <li>• Tree Grates – <i>clean and maintain</i></li> <li>• Private Signage – <i>Inspect and maintain</i></li> <li>• Bioretention Basins – <i>As detailed in Exhibit "C-2"</i></li> <li>• Bus Stop Shelters – <i>inspect, clean and maintain</i></li> <li>• Pendant Lighting – <i>inspect and maintain</i></li> <li>• Planter Pots – <i>inspect and maintain</i></li> <li>• Concrete Seatwalls – <i>inspect and maintain</i></li> <li>• Concrete Pavers – <i>inspect and maintain</i></li> <li>• Graffiti Control – <i>all Association maintained facilities</i></li> </ul>	<p><b>City of Chula Vista Maintenance</b></p> <ul style="list-style-type: none"> <li>• Curb and Gutter – <i>inspect and maintain</i></li> <li>• Storm Drain Inlets – <i>inspect and maintain</i></li> <li>• Standard Street Lights – <i>inspect and maintain</i></li> <li>• Traffic Signals – <i>inspect and maintain</i></li> <li>• Street and Traffic Signage – <i>inspect and maintain</i></li> <li>• Centerline, sideline and parking striping – <i>inspect and maintain</i></li> <li>• Bioretention Basins – <i>As detailed in Exhibit "C-2"</i></li> <li>• Graffiti Control – <i>all City maintained facilities</i></li> </ul>



**EXHIBIT "C-2"**  
**Bioretention Basin Maintenance for Millenia**

City (Maintenance CFD) Responsibility	Master Home Owners Association (MHOA) Responsibility
<p><b>Inspections:</b></p> <ul style="list-style-type: none"> <li>• Inlet, curb cuts, spillway and storm drain connection, including underdrain pipe (via cleanout port and connection to inlet) – <i>quarterly and after major storm events</i></li> <li>• Concrete stamping – <i>annually</i></li> <li>• Sediment accumulation – <i>monthly</i></li> <li>• Rip rap pads – <i>semi-annually and after major storm events</i></li> <li>• Exposed impermeable liner – <i>monthly</i></li> <li>• Retaining walls - <i>annually</i></li> </ul> <p><b>Routine Maintenance:</b></p> <ul style="list-style-type: none"> <li>• Removal of sediment from inlets and storm drain pipes</li> <li>• Removal of excessive sediment build up in landscaping areas</li> <li>• Raking/tilling of surface soils</li> </ul> <p><b>Non-Routine Maintenance:</b></p> <ul style="list-style-type: none"> <li>• Repair or replacement of non-legible concrete stamping</li> <li>• Repair or cleaning of underdrain pipe if clogged (sediment/trash removal from within)</li> <li>• Replacement of all soil, subgrade material and underdrains – <i>approximately once every 30 years</i></li> <li>• Replacement of damaged concrete</li> <li>• Repair or replacement of damaged structures</li> <li>• Repair and replacement of rip rap pads</li> <li>• Repair or replacement of damaged impermeable liner</li> <li>• Repair retaining walls for chipping or other damage</li> </ul>	<p><b>Inspections:</b></p> <ul style="list-style-type: none"> <li>• Landscaping (soil and plant condition) - <i>monthly</i></li> <li>• Irrigation systems - <i>monthly</i></li> </ul> <p><b>Routine Maintenance:</b></p> <ul style="list-style-type: none"> <li>• Trash and debris removal</li> <li>• Trimming and pruning of vegetation</li> <li>• Weeding</li> <li>• Mulch replenishment – <i>quarterly</i></li> <li>• Adjustment of spray heads and replacing broken or non-functional risers, heads/bubblers and valve parts</li> <li>• Concrete Pavers – <i>inspect and replace pavers, replenish joint sand</i></li> <li>• Pendant lighting – <i>inspect and replace lights as required</i></li> <li>• Planter Pots – <i>soil and irrigation – bi-weekly</i></li> </ul> <p><b>Non-Routine Maintenance:</b></p> <ul style="list-style-type: none"> <li>• Replacement of broken irrigation system</li> <li>• Replacement of dead plants and trees</li> <li>• Replacement of irrigation and planting material – <i>concurrent with City's replacement of soil and subgrade material</i></li> <li>• Concrete Seatwall – <i>inspect and repair, clean and removal of graffiti and skateboard wax</i></li> </ul>