

ACCESSIBILITY INFO:

ACCESSIBLE PATH OF TRAVEL TO ALL BUILDINGS FACILITIES, ELEMENTS AND SPACES THAT ARE ON THE SAME SITE. ALL PARKING, RAMPS, WALKS, ENTRANCE, PATH OF TRAVEL ETC. ARE ACCESSIBLE AND ARE SUBJECT TO FIELD VERIFICATIONS.

- DOORS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 32" WHEN OPEN AND SHALL BE OPERABLE BY A SINGLE EFFORT.
 - THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AREA WILL HAVE A LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60 INCHES AND A LENGTH OPPOSITE OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN A CLOSED POSITION.
 - THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS WILL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE OF ALL INTERIOR DOORS.
 - HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR. LATCHING AND LOCKING DOORS WILL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS OR PUSH PULL ACTIVATING BARS, LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
 - THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING WILL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOORS TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRIP OR HAZARDOUS CONDITION WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH SHALL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRIP HAZARDOUS CONDITION.
 - THRESHOLDS SHALL NOT EXCEED 1/2" IN TOTAL HEIGHT. VERTICAL FACES NOT EXCEED 1/2". CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" WILL BE BEVELED WITH A SLOPE NO GRATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
 - MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS.
 - ALL WALKS OR AREAS ADJACENT TO EACH ACCESS DOOR SHALL HAVE A LEVEL AREA NOT LESS THAN 60"x 60" WITH AT LEAST 24" WIDE LEVEL AREA EXTENDING TO THE STRIKE SIDE OF THE DOOR.
 - ALL EXTERIOR TRAFFIC (PEDESTRIAN AND/OR VEHICULAR) SURFACES SHALL HAVE A SLIP RESISTANT FINISH.
 - ALL ACCESSIBLE BUILDING ENTRANCES SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 - ROOM IDENTIFICATION SIGNAGE SHALL INCLUDE RAISED LETTERS AND BRAILLE IN CONFORMANCE WITH THE TITLE 24 SECTION 11178.5.6.3.
- RESTROOM NOTES:**

- MEN'S AND WOMEN'S GEOMETRIC IDENTIFICATION SYMBOLS SHALL BE PLACED ON DOORS TO SANITARY FACILITIES.
- TOILET ROOM GRAB BARS SHALL BE PROVIDED AT 33" A.F.F. AND SHALL BE PARALLEL TO THE FLOOR.
- WHEN PROVIDED, ALL OPENABLE PARTS OF AT LEAST ONE TOWEL, SANITARY NAPKIN DISPENSER, WASTE RECEPTACLE OR SIMILAR FIXTURE SHALL BE LOCATED WITHIN 40 INCHES FROM THE FLOOR.
- TOILET TISSUE DISPENSERS SHALL BE LOCATED ON THE WALL WITHIN 12" OF THE FRONT EDGE OF THE OF THE TOILET.
- MORRORS IN TOILET ROOMS SHALL BE MOUNTED WITH THE BOTTOM EDGE NO HIGHER THEN 40" A.F.F.
- THE HEIGHT OF WATER CLOSETS SHALL BE AT A MAX OF 19" AND A MIN OF 17" A.F.F. TO THE TOP OF THE SEAT.
- LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF 29" FORM THE FIN. FL. TO THE APRON. HOT WATER AND DRAIN LINES SHALL BE INSTANTIATED OR OTHERWISE COVERED.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPENABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.

CODE INFO:

THIS PROJECT SHALL CONFORM TO THE FOLLOWING BUILDING CODES:
 2016 CALIFORNIA BUILDING CODE (CBC)
 2016 CALIFORNIA MECHANICAL CODE (CMC)
 2016 CALIFORNIA PLUMBING CODE (CPC)
 2016 CALIFORNIA ELECTRICAL CODE (EC)
 2016 CALIFORNIA FIRE CODE (CFC)
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
 2016 CALIFORNIA ENERGY CODE TITLE 24
 2016 CALIF. BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)
 AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA AND THE CITY CHULA VISTA

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- A-9 RETAINING WALL ELEVATIONS, FRONT FENCE DETAIL
- FA-1 FIRE ACCESS PLAN 1 OF 1
- C-1 SITE SECTION PLAN
- C-2 GRADING PLAN
- T-1 TOPO MAP
- SDLA 1 OF 1 SITE LIGHTING PLAN

PROJECT INFO:

SITE:

1880 AUTO PARK PLACE
CHULA VISTA, CA

OWNER:

STEVE DOSE
215 DENNY WAY
EL CAJON, CA 92020
619-449-3835

DESIGNER:

JON HURLEY BUILDING DESIGN LLC
14583 CHERRY ST.
BRIGHTON, CO 80602
619-248-2673

CIVIL ENGINEER:
LANDMARK CONSULTANTING
9555 GENESEE AVE. STE. 200
SAN DIEGO, CA 92121
858-587-8070

LANDSCAPE DESIGN:
S.R. CLARKE
110 COPPERWOOD WAY STE. P
OCEANSIDE, CA 92058
760-716-3100

OWNER BUILDER

PROJECT INFO:

PROPOSED NEW AUTO REPAIR FACILITY
COLLISION REPAIR - 1. 17,450 SQ. FT.
AUTO REPAIR FACILITY - 2. 6,186 SQ. FT.

TOTAL BUILDING 23,636 SQ. FT.

COVERED ENTRY 4,185 SQ. FT.

LAND INFO:

2.166 ACRES
94,378.205 SQ. FT.

TOTAL LOT BUILDING COVERAGE 27,810 SQ. FT.
TOTAL F.A.R. 0.29%

SET BACKS:

FRONT 40'-0"
SIDE 20'-0"
REAR 20'-0"

LEGAL:

PARCEL 3, PARCEL MAP 19,306

A.P.N.

644-041-44

CONSTRUCTION TYPE:

VB FULLY SPRINKLERED
CHAPTER 5 CBC TABLE 506.2 ALLOW AREA PER TABLE FOR
OCCUPANCY 'S-1' FULLY SPRINKLERED IS 36,000 SQ. FT.
PROPOSED TOTAL BUILDING AREA 23,625 SQ. FT.
SINGLE STORY
SPRAY BOOTH DRY SUPPRESSION

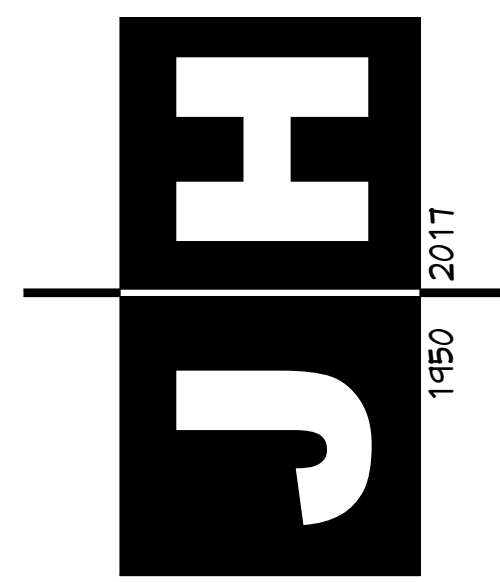
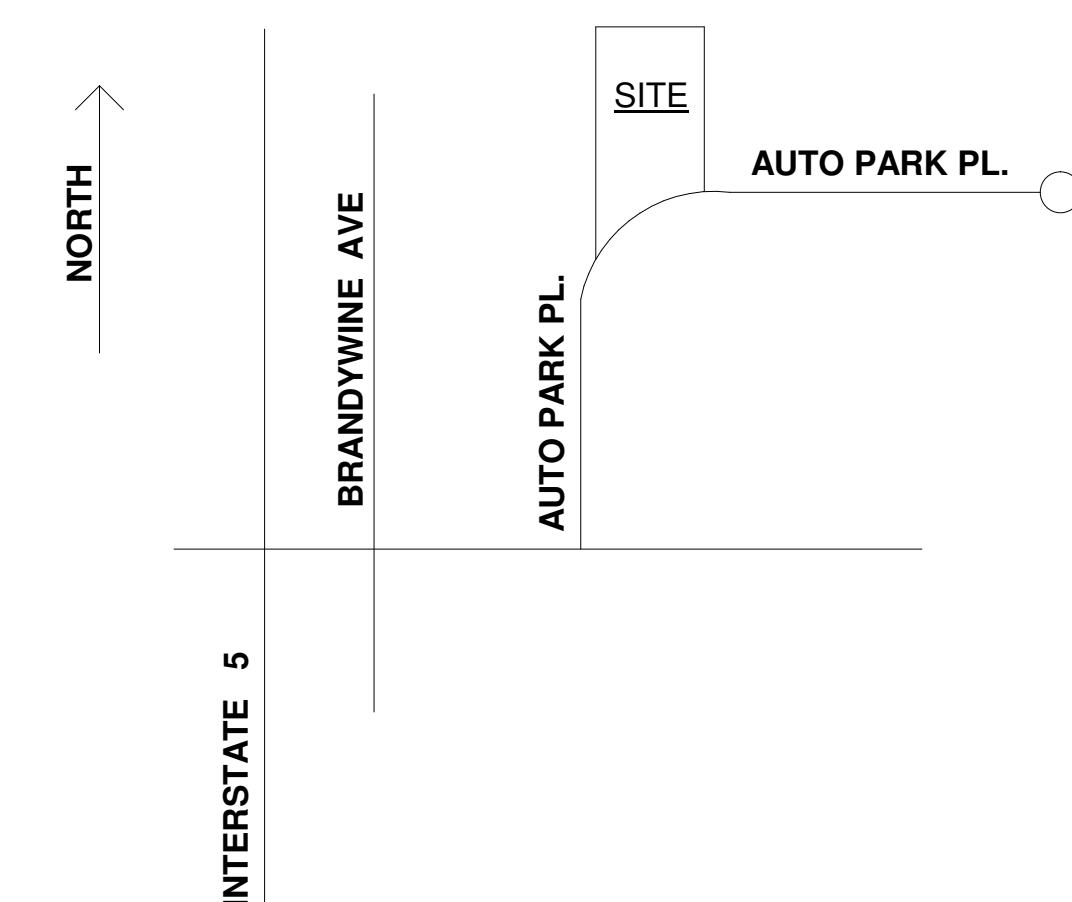
OCCUPANCY:

'B' OFFICE, LOCKER, RESTROOM.
S-1 COLLISION REPAIR FACILITY
S-1 AUTO REPAIR FACILITY

HOURS OF OPERATION

7:30 AM TO 6:00 PM MONDAY THROUGH FRIDAY

VICINITY MAP:



DESIGN BY:
JON HURLEY

4/30/2020

SITE:
1880 AUTO PARK PLACE
CHULA VISTA, CA

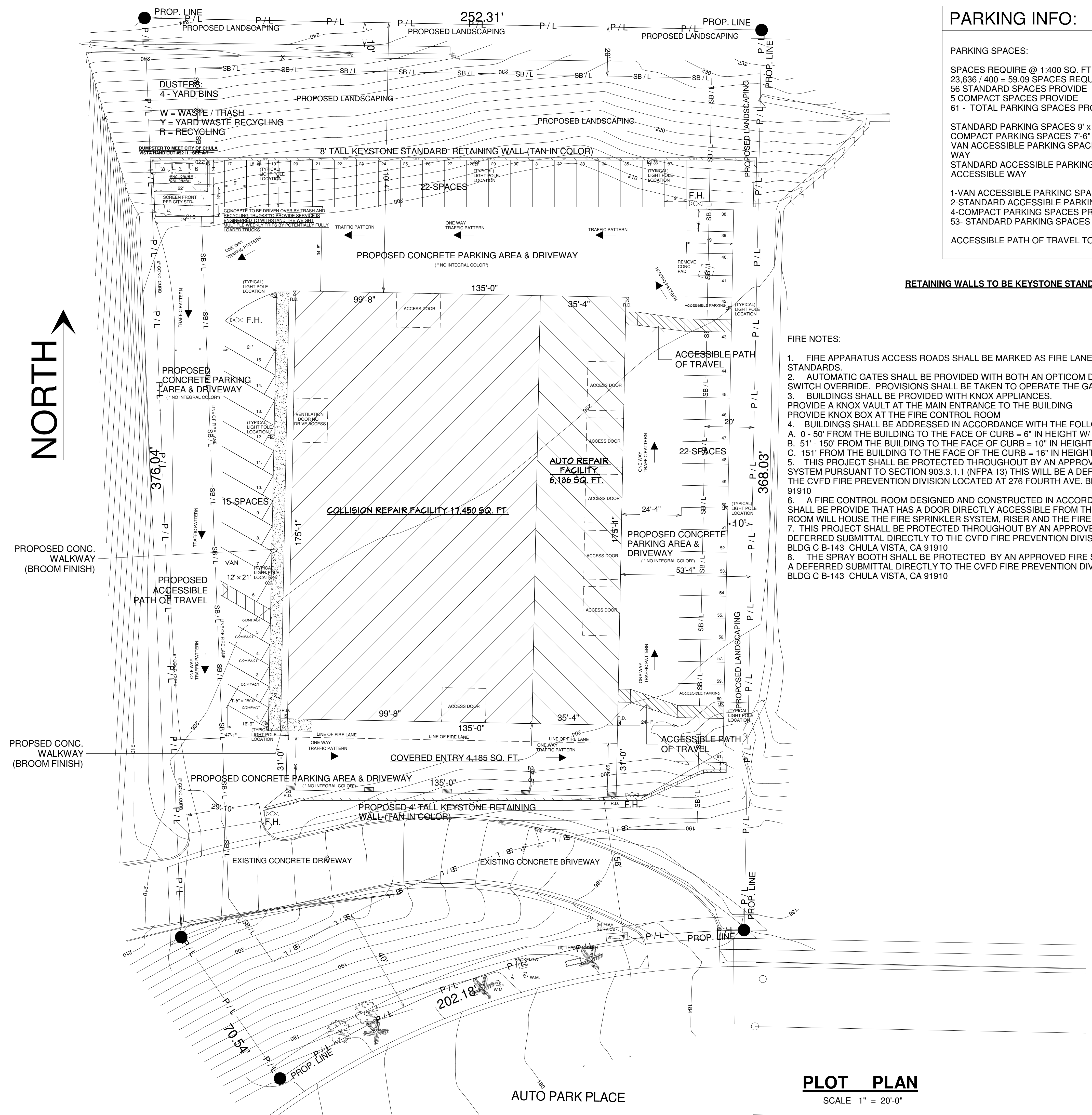
PROJECT ENGINEER:
SOLID FORMS ENGINEERING
858.376.7734
EVAN COLES

PROJECT INFO:

PROPOSED AUTO REPAIR
FACILITY FOR
MR. STEVE DOSE

JON HURLEY
BUILDING DESIGN
619-248-2673
jonhurley55@gmail.com

A-1 OF 13



PARKING INFO:

PARKING SPACES:
 SPACES REQUIRE @ 1:400 SQ. FT. OF BUILDING
 23,636 / 400 = 59.09 SPACES REQUIRED
 56 STANDARD SPACES PROVIDE
 5 COMPACT SPACES PROVIDE
 61 - TOTAL PARKING SPACES PROVIDED

STANDARD PARKING SPACES 9' x 19'
 COMPACT PARKING SPACES 7'-6"
 VAN ACCESSIBLE PARKING SPACES 12' x 18' W/ 5' x 19' ACCESS ISLE WAY
 STANDARD ACCESSIBLE PARKING SPACE 9'x18' W/ 5' x 19' ACCESSIBLE WAY

1-VAN ACCESSIBLE PARKING SPACES PROVIDED
 2-STANDARD ACCESSIBLE PARKING SPACES PROVIDED
 4-COMPACT PARKING SPACES PROVIDED
 53- STANDARD PARKING SPACES PROVIDED

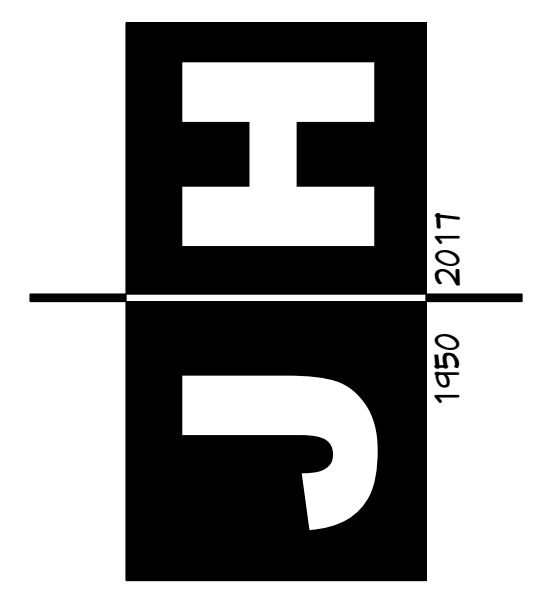
ACCESSIBLE PATH OF TRAVEL TO BE 5'-0" WIDE

RETAINING WALLS TO BE KEystone STANDARD WALL SYSTEM (TAN IN COLOR)

FIRE NOTES:

1. FIRE APPARATUS ACCESS ROADS SHALL BE MARKED AS FIRE LANES IN ACCORDANCE CVFD STANDARDS.
2. AUTOMATIC GATES SHALL BE PROVIDED WITH BOTH AN OPTICOM DETECTION SYSTEM AND A KNOX KEY SWITCH OVERRIDE. PROVISIONS SHALL BE TAKEN TO OPERATE THE GATE UPON POWER LOSS.
3. BUILDINGS SHALL BE PROVIDED WITH KNOX APPLIANCES. PROVIDE A KNOX VAULT AT THE MAIN ENTRANCE TO THE BUILDING PROVIDE KNOX BOX AT THE FIRE CONTROL ROOM
4. BUILDINGS SHALL BE ADDRESSED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 A. 0 - 50' FROM THE BUILDING TO THE FACE OF CURB = 6" IN HEIGHT W/ A 1" STROKE
 B. 51' - 150' FROM THE BUILDING TO THE FACE OF CURB = 10" IN HEIGHT W/ A 1-1/2" STROKE
 C. 151' FROM THE BUILDING TO THE FACE OF THE CURB = 16" IN HEIGHT W/ A 2" STROKE
5. THIS PROJECT SHALL BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM PURSUANT TO SECTION 903.3.1.1 (NFPA 13) THIS WILL BE A DEFERRED SUBMITTAL DIRECTLY TO THE CVFD FIRE PREVENTION DIVISION LOCATED AT 276 FOURTH AVE. BLDG C B-143 CHULA VISTA, CA 91910
6. A FIRE CONTROL ROOM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CVFD STANDARD DETAIL SHALL BE PROVIDE THAT HAS A DOOR DIRECTLY ACCESSIBLE FROM THE EXTERIOR OF THE BUILDING. THIS ROOM WILL HOUSE THE FIRE SPRINKLER SYSTEM, RISER AND THE FIRE ALARM CONTROL PANEL ONLY.
7. THIS PROJECT SHALL BE PROTECTED THROUGHOUT BY AN APPROVED ALARM SYSTEM. THIS WILL BE A DEFERRED SUBMITTAL DIRECTLY TO THE CVFD FIRE PREVENTION DIVISION LOCATED AT 276 FOURTH AVE. BLDG C B-143 CHULA VISTA, CA 91910
8. THE SPRAY BOOTH SHALL BE PROTECTED BY AN APPROVED FIRE SUPPRESSION SYSTEM. THIS WILL BE A DEFERRED SUBMITTAL DIRECTLY TO THE CVFD FIRE PREVENTION DIVISION LOCATED AT 276 FOURTH AVE. BLDG C B-143 CHULA VISTA, CA 91910

PLOT PLAN
 SCALE 1" = 20'-0"



DESIGN BY:
JON HURLEY

4/30/2020

SITE:
 1080 AUTO PARK PLACE
 CHULA VISTA, CA

PROJECT ENGINEER:
 SOLID FORMS ENGINEERING
 854.376.1734
 EVAN COLES

PROJECT INFO:

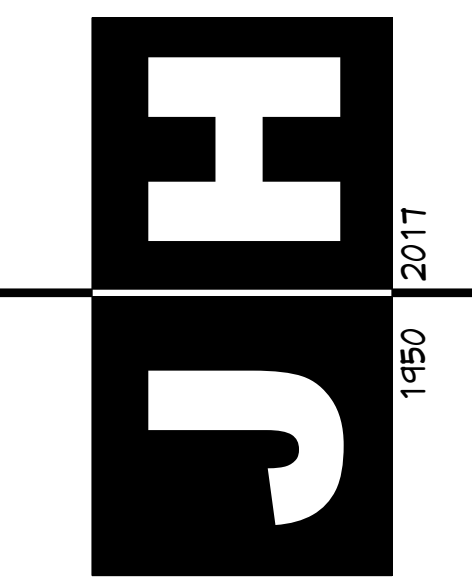
**PROPOSED AUTO REPAIR
 FACILITY FOR
 MR. STEVE DOSE**

**JON HURLEY
 BUILDING DESIGN
 619-248-2673
 jonhurley55@gmail.com**

IT IS THE OWNERS RESPONSIBILITY TO FIELD VERIFY ALL PAGES OF THESE DRAWINGS PRIOR TO STARTING CONSTRUCTION. IF THE OWNER FAILS TO FIELD VERIFY THESE DRAWINGS WITH ALL SITE CONDITIONS AND BEGINS CONSTRUCTION HE/SHE TAKES FULL RESPONSIBILITY FOR THE DRAWINGS BEING CORRECT AND APPROVED BY THE OWNER. THE DESIGNER SHALL TAKE ZERO RESPONSIBILITY FOR ANY JOB COSTS DO TO THE OWNER FAILING TO FIELD VERIFY THE APPROVED PLANS. THE OWNER SHALL SIGN EACH SHEET OF THE APPROVED PLANS AND EMAIL THE SIGN PLANS TO THE DESIGNER PRIOR TO STARTING CONSTRUCTION.

COLOR NOTES:

DOORS AND ROOF: HIGH GLOSS WHITE
VERTICAL STEEL SIDING PANELS: METALLIC FUSION
HORIZONTAL STEEL SIDING PANELS & TRIM: WEATHER ZINC



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4/30/2020

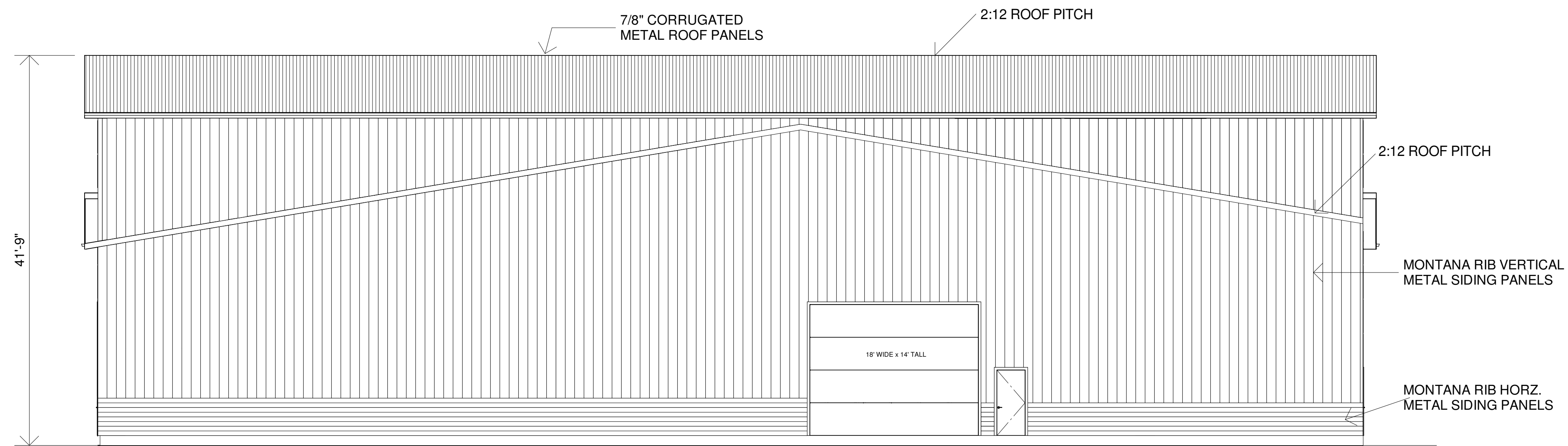
SITE:
1880 AUTO PARK PLACE
CHULA VISTA, CA

PROJECT ENGINEER:
SOLID FORMS ENGINEERING
854.376.7734
EVAN COLES

PROJECT INFO:

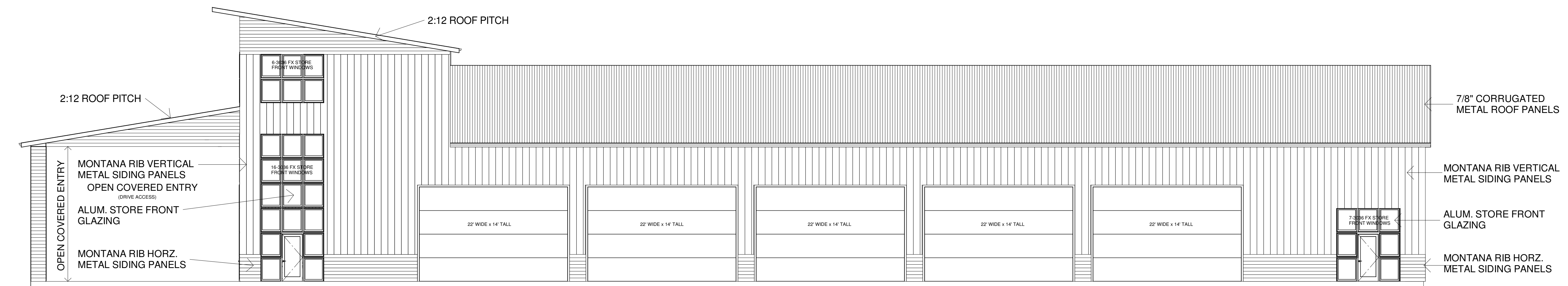
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NORTH ELEVATION

SCALE 1/8" = 1'-0"

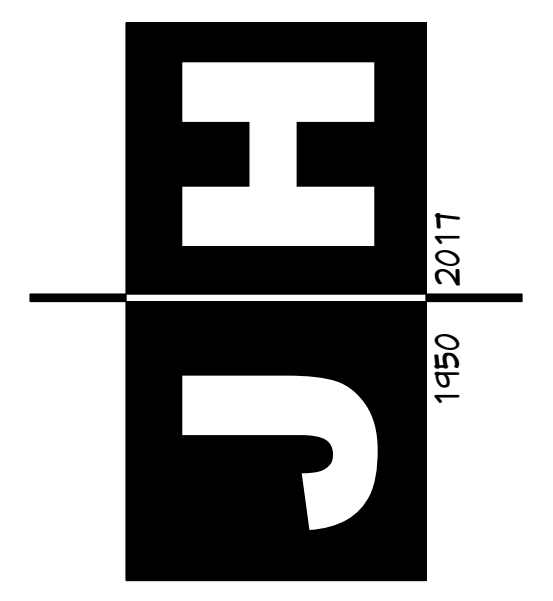


EAST ELEVATION

SCALE 1/8" = 1'-0"

COLOR NOTES:

DOORS AND ROOF: HIGH GLOSS WHITE
 VERTICAL STEEL SIDING PANELS: METALLIC FUSION
 HORIZONTAL STEEL SIDING PANELS & TRIM: WEATHER ZINC

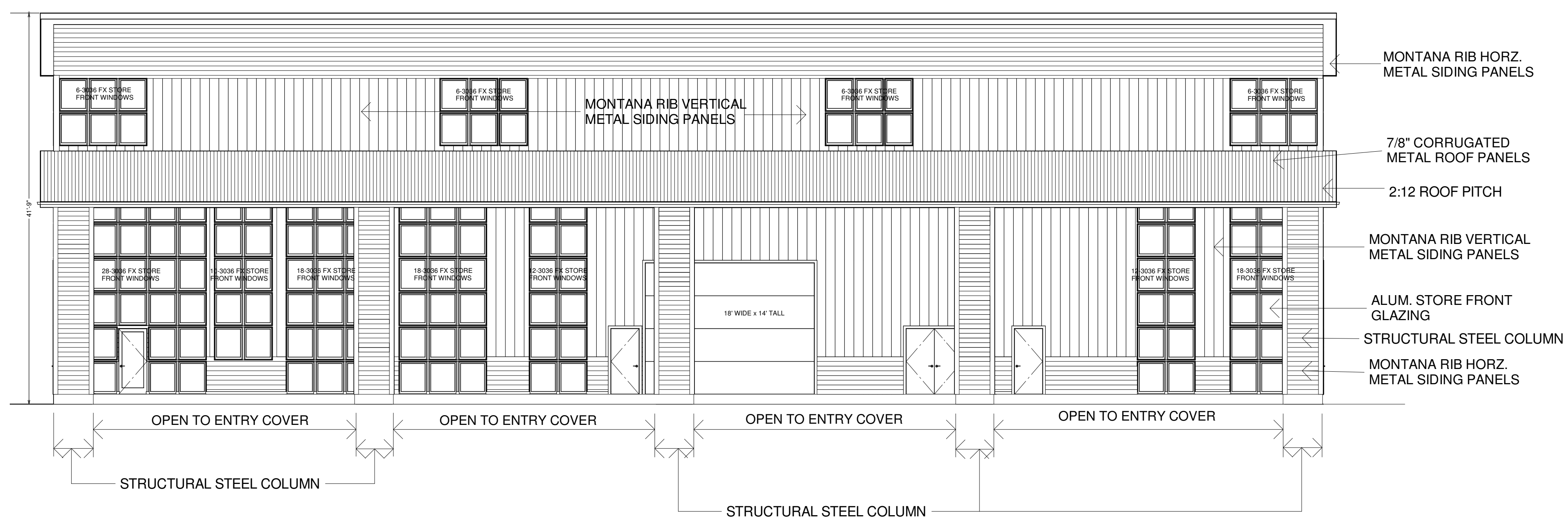


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4/30/2020

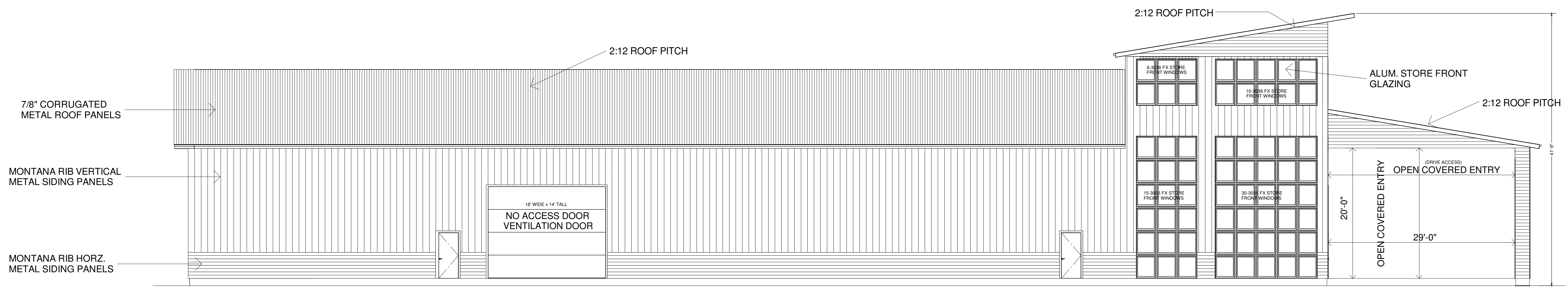
SITE:
 1880 AUTO PARK PLACE
 CHULA VISTA, CA

PROJECT ENGINEER:
 SOLID FORMS ENGINEERING
 854.376.7734
 EVAN COLES



SOUTH ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

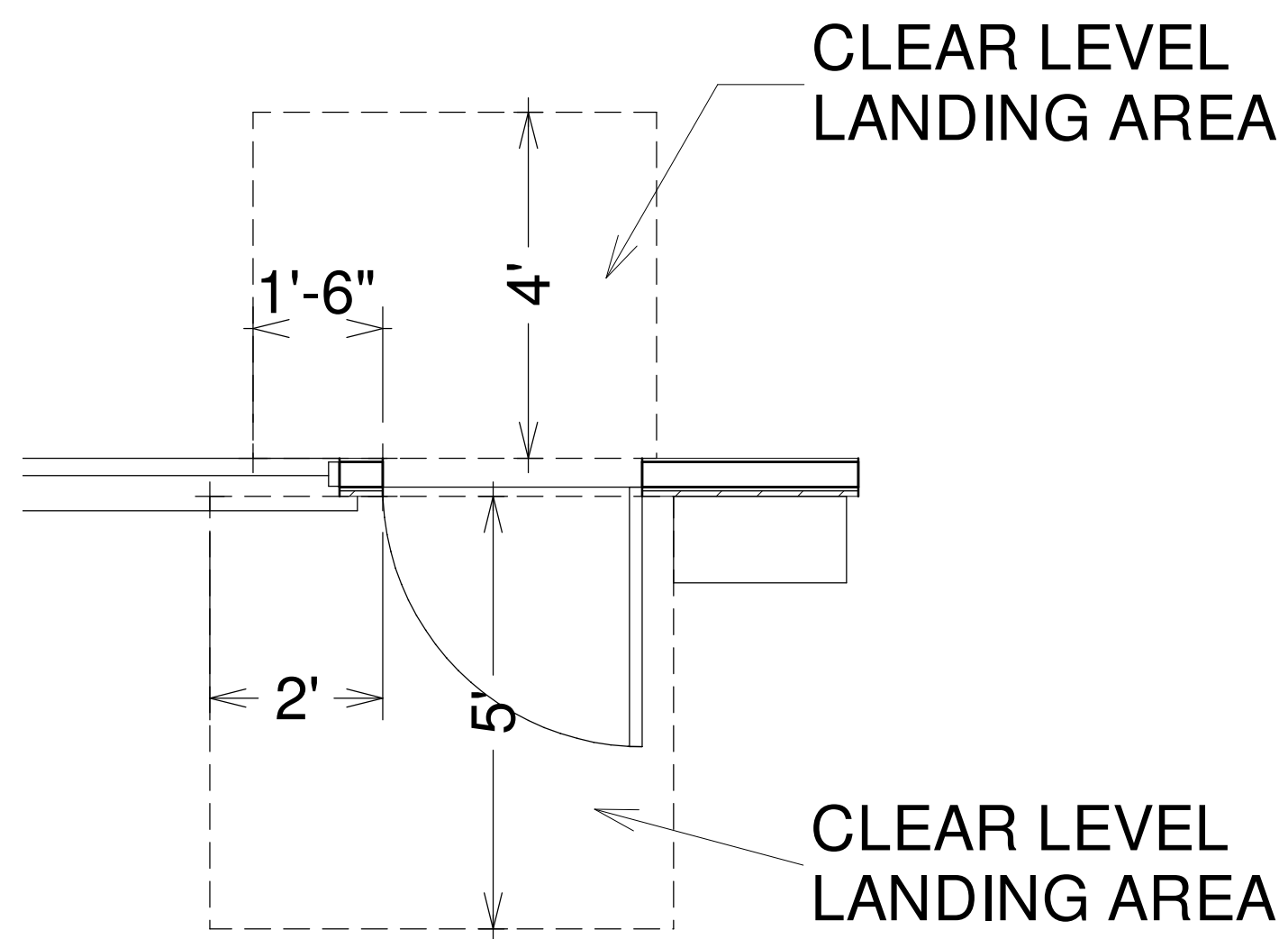
SCALE 1/8" = 1'-0"

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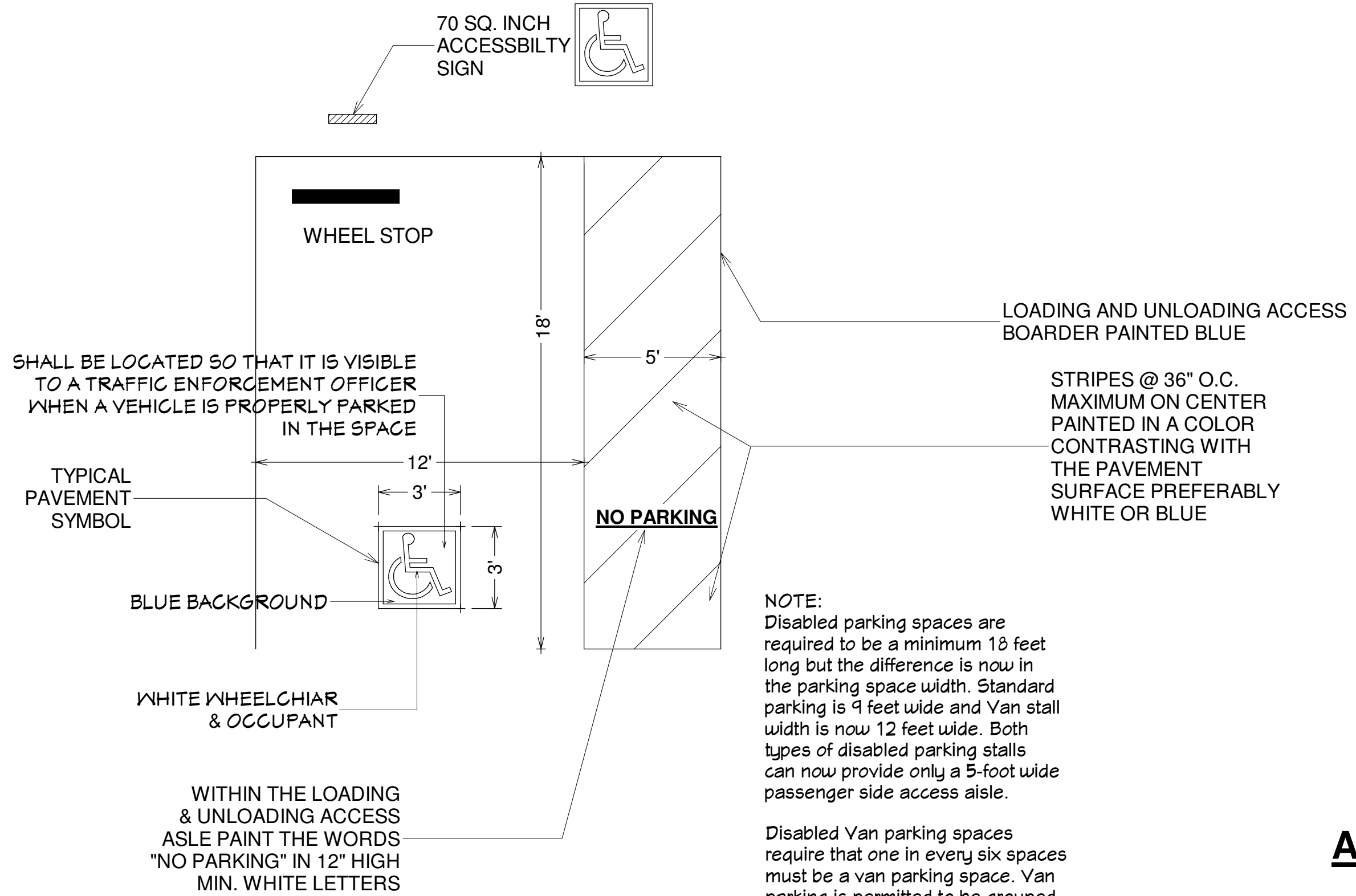
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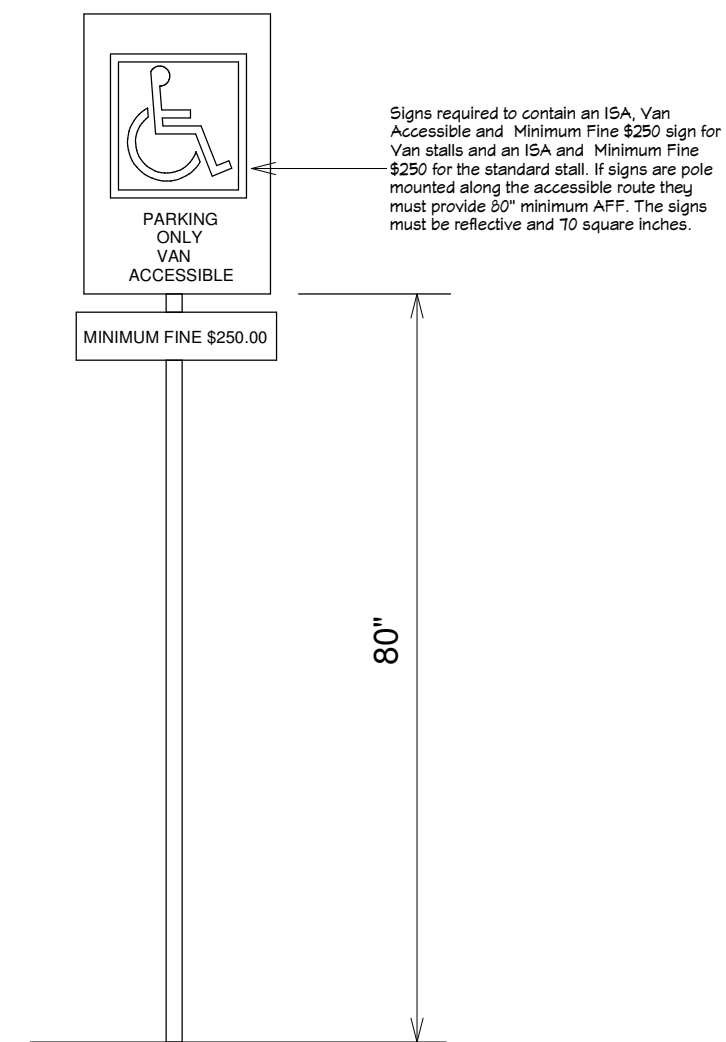
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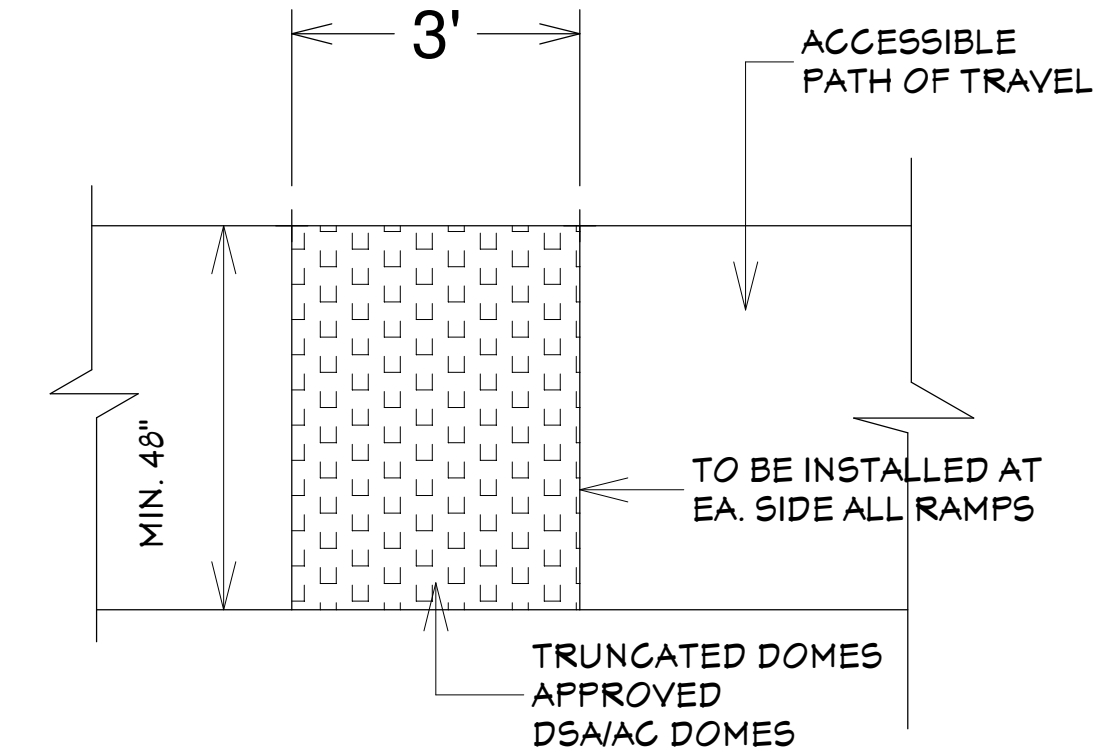
DOOR LANDING REQUIREMENTS



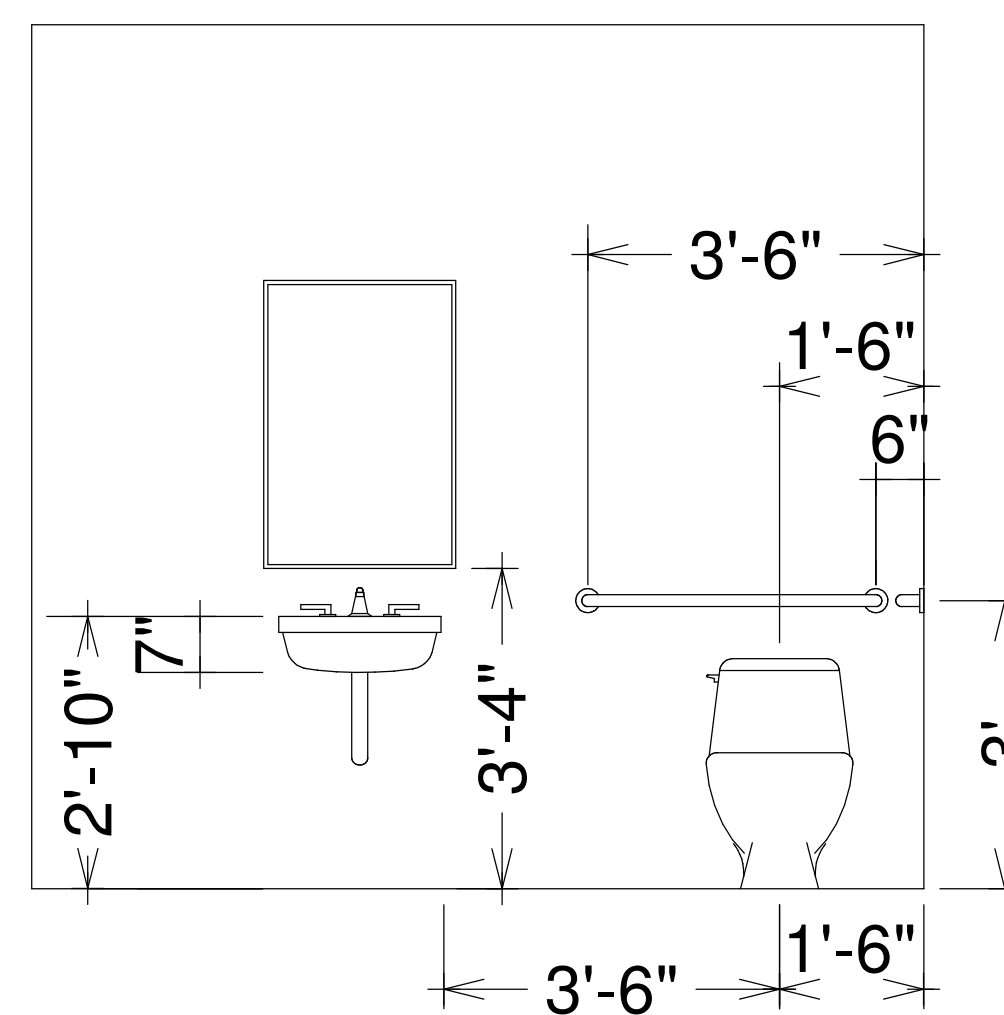
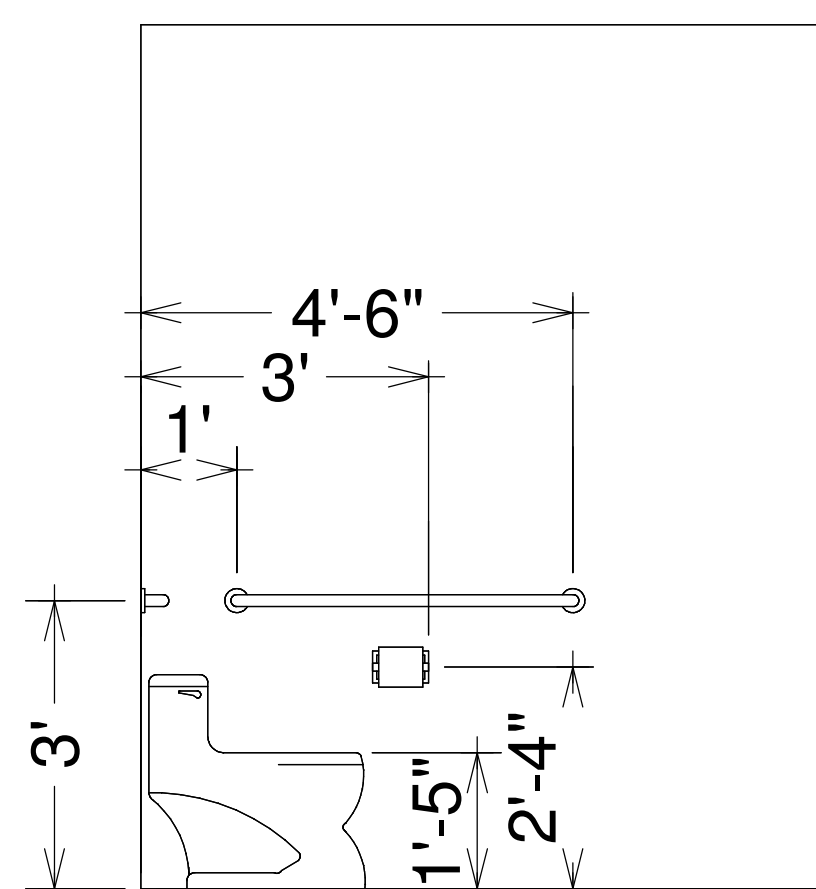
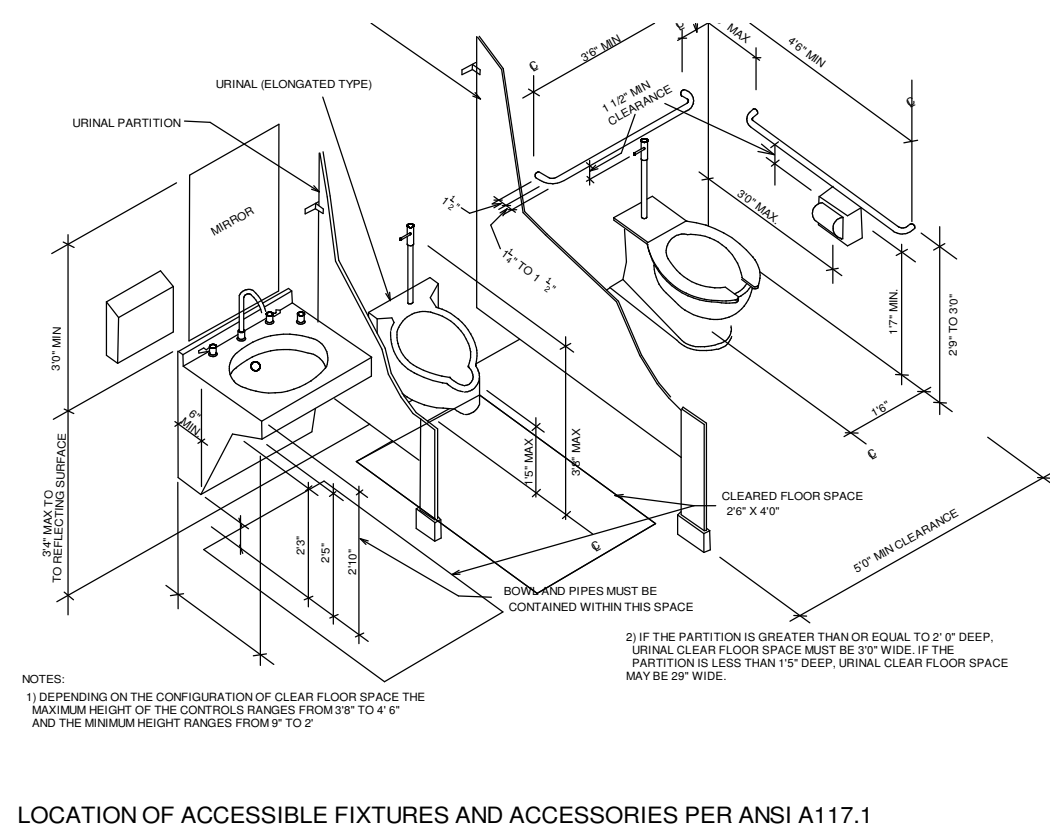
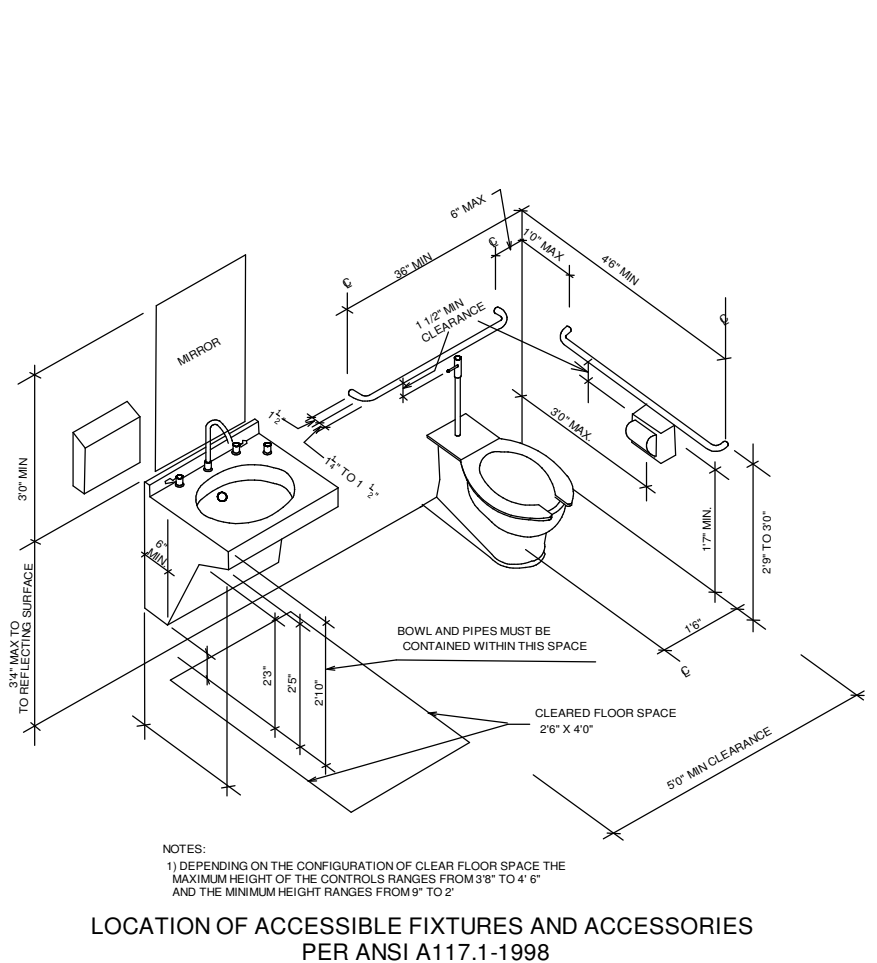
ACCESSIBLE PARKING



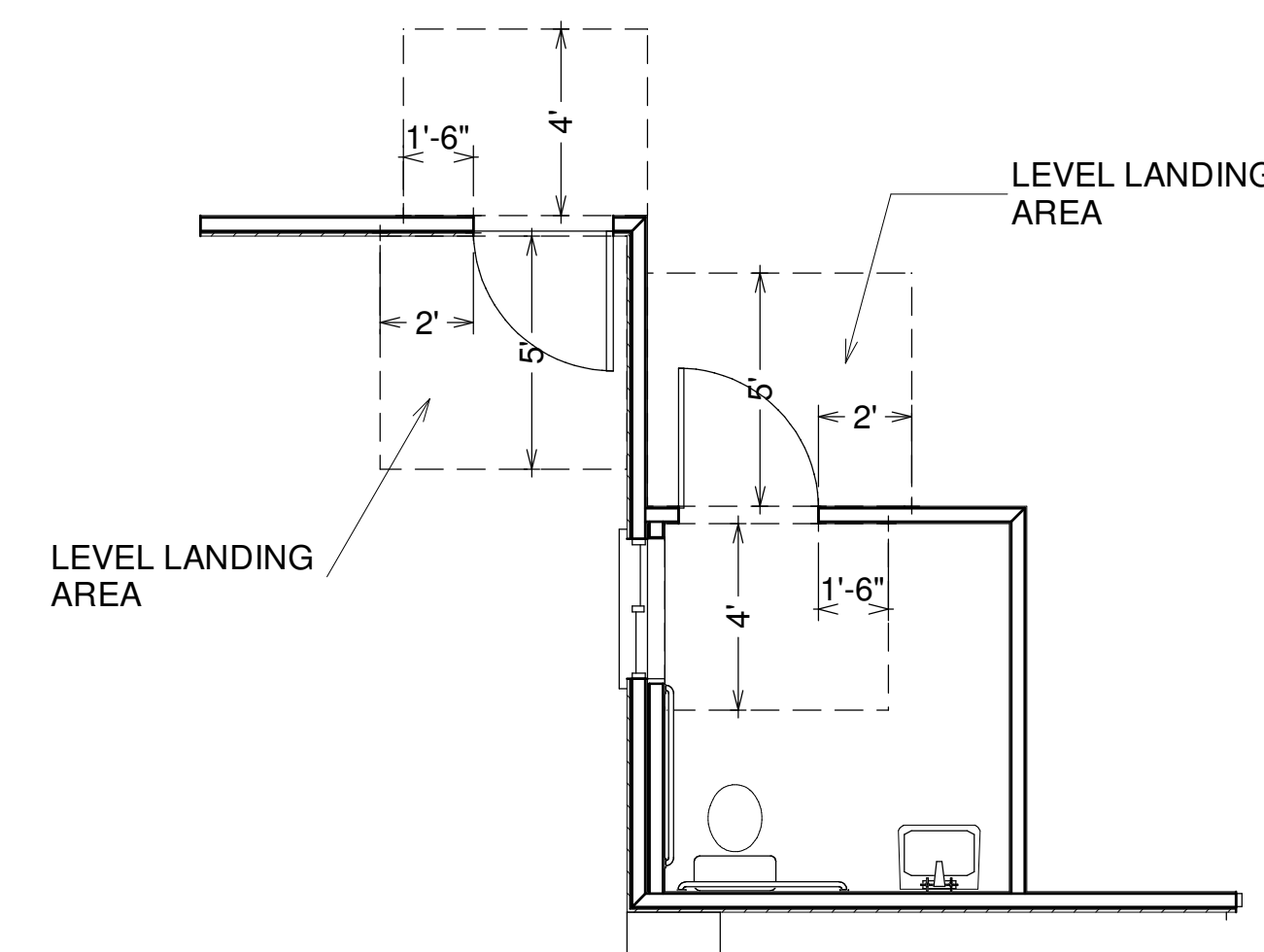
ACCESSIBLE PARKING SIGN



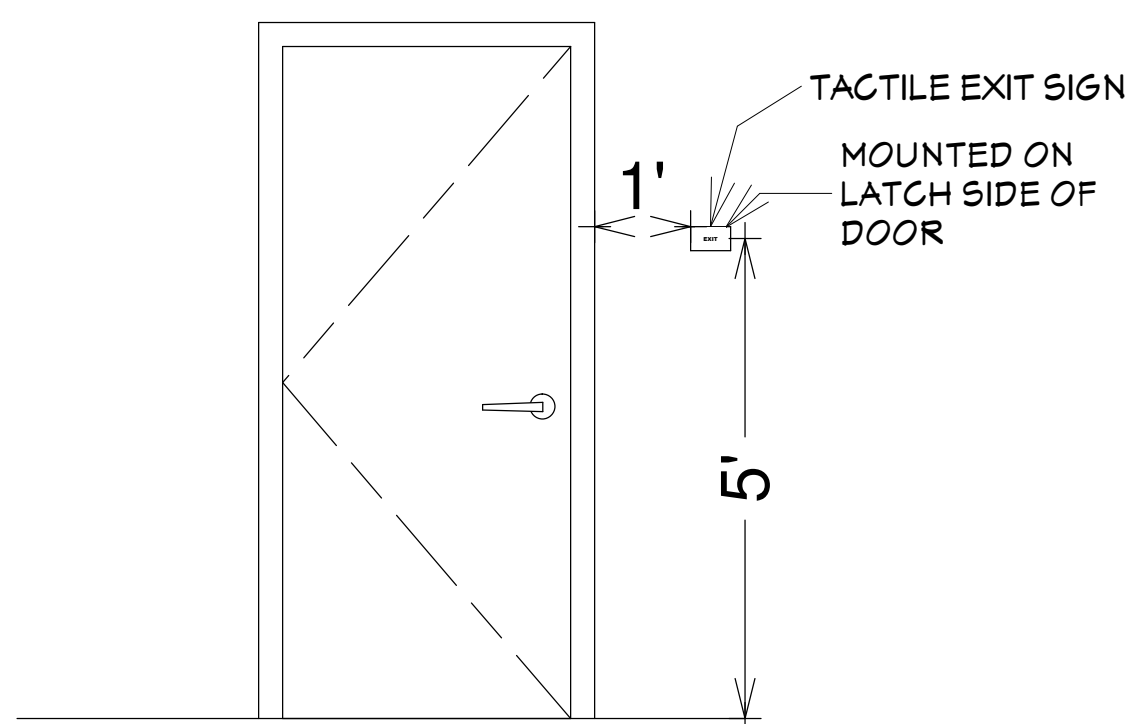
TRUNCATED DOMES



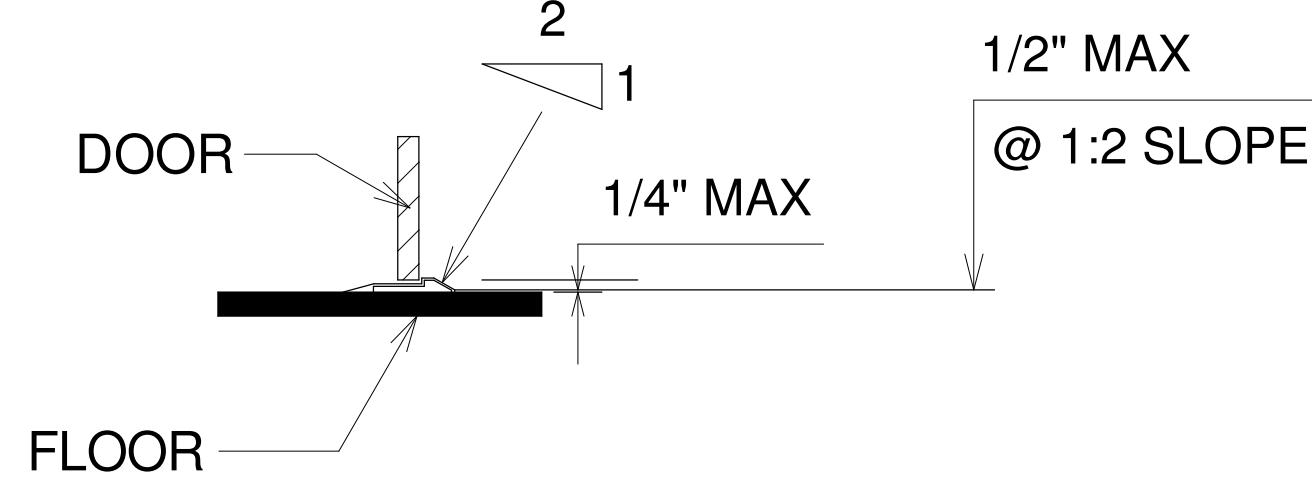
ACCESSIBLE RESTROOM REQUIREMENTS



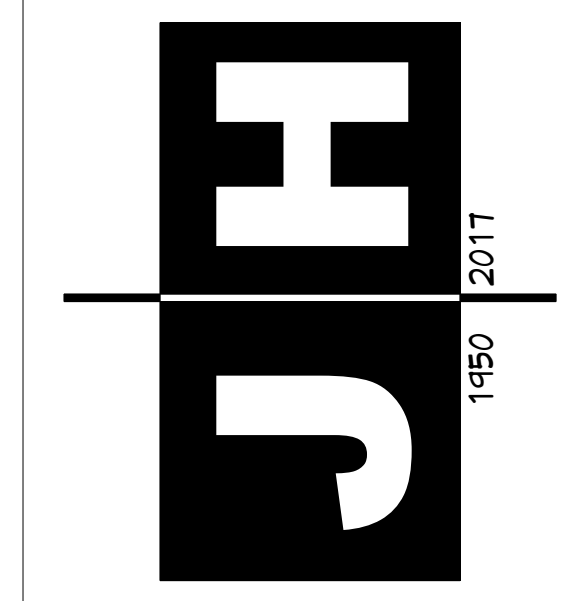
DOOR LANDING REQUIREMENTS



DOOR SIGNAGE



DOOR THRESHOLD



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4/30/2020

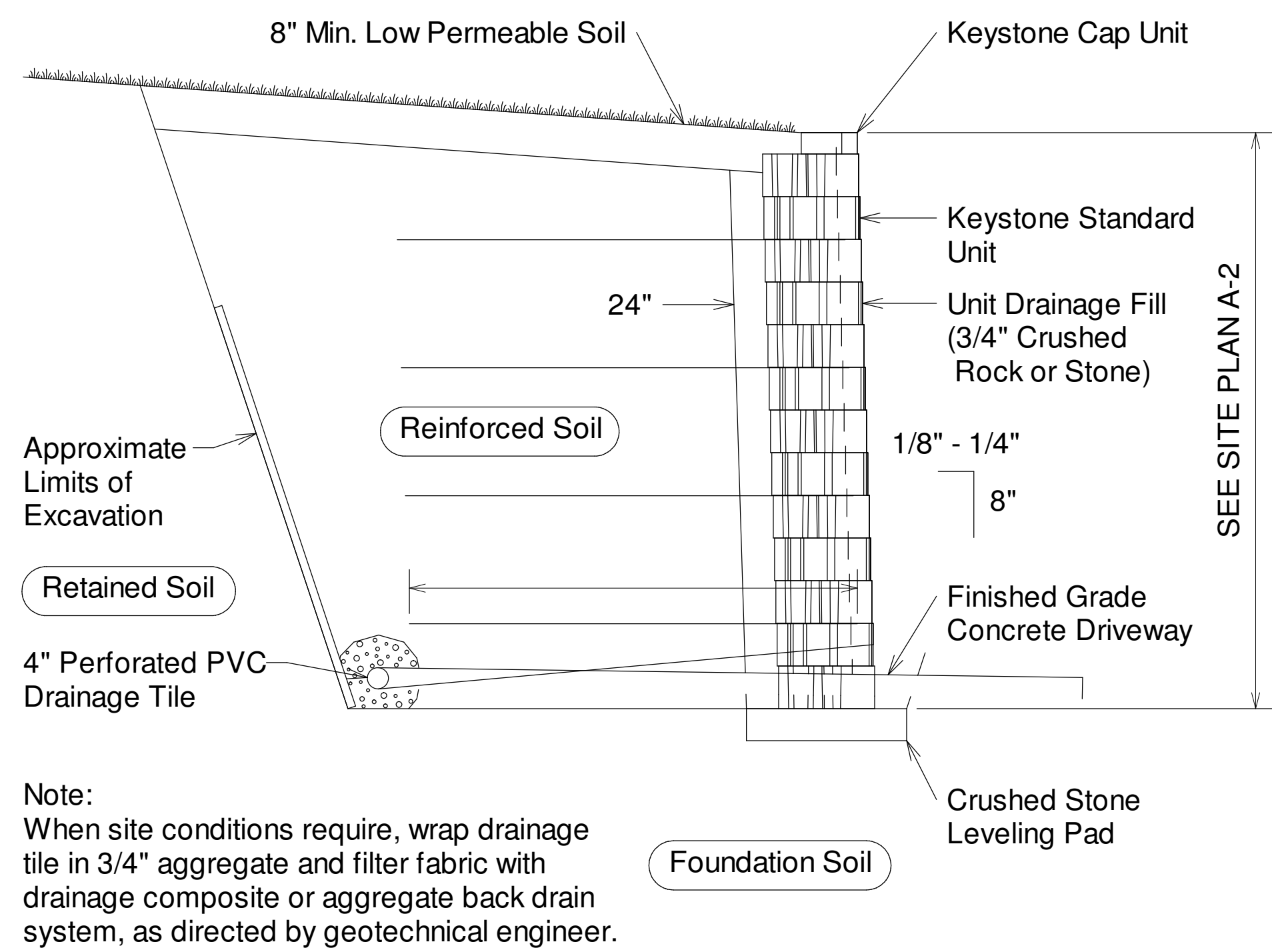
SITE:
1880 AUTO PARK PLACE
CHULA VISTA, CA

PROJECT ENGINEER:
SOLID FORMS ENGINEERING
856.376.1734
EVAN COLES

PROJECT INFO:
PROPOSED AUTO REPAIR FACILITY FOR MR. STEVE DOSE

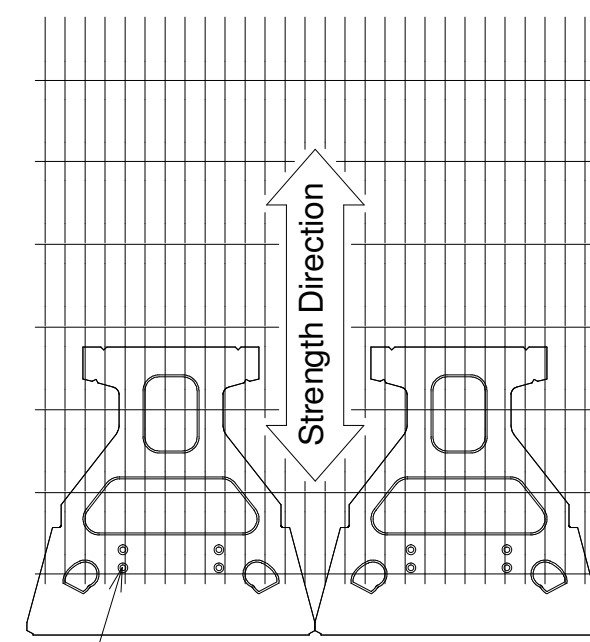
JON HURLEY
BUILDING DESIGN
619-248-2673
jonhurley55@gmail.com

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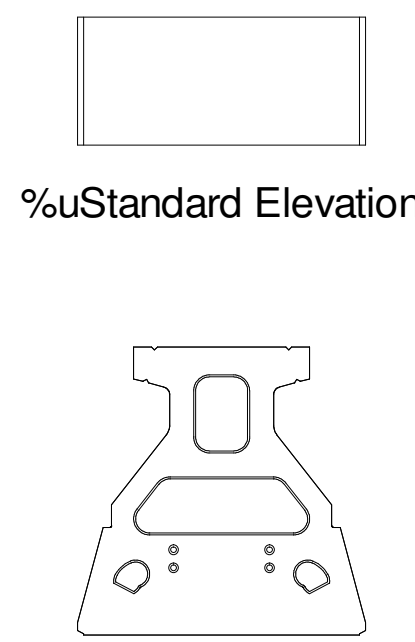
Typical Reinforced Wall Section
Standard Unit - Near Vertical Setback

KEYSTONE STANDARD RETAINING WALL SYSTEM



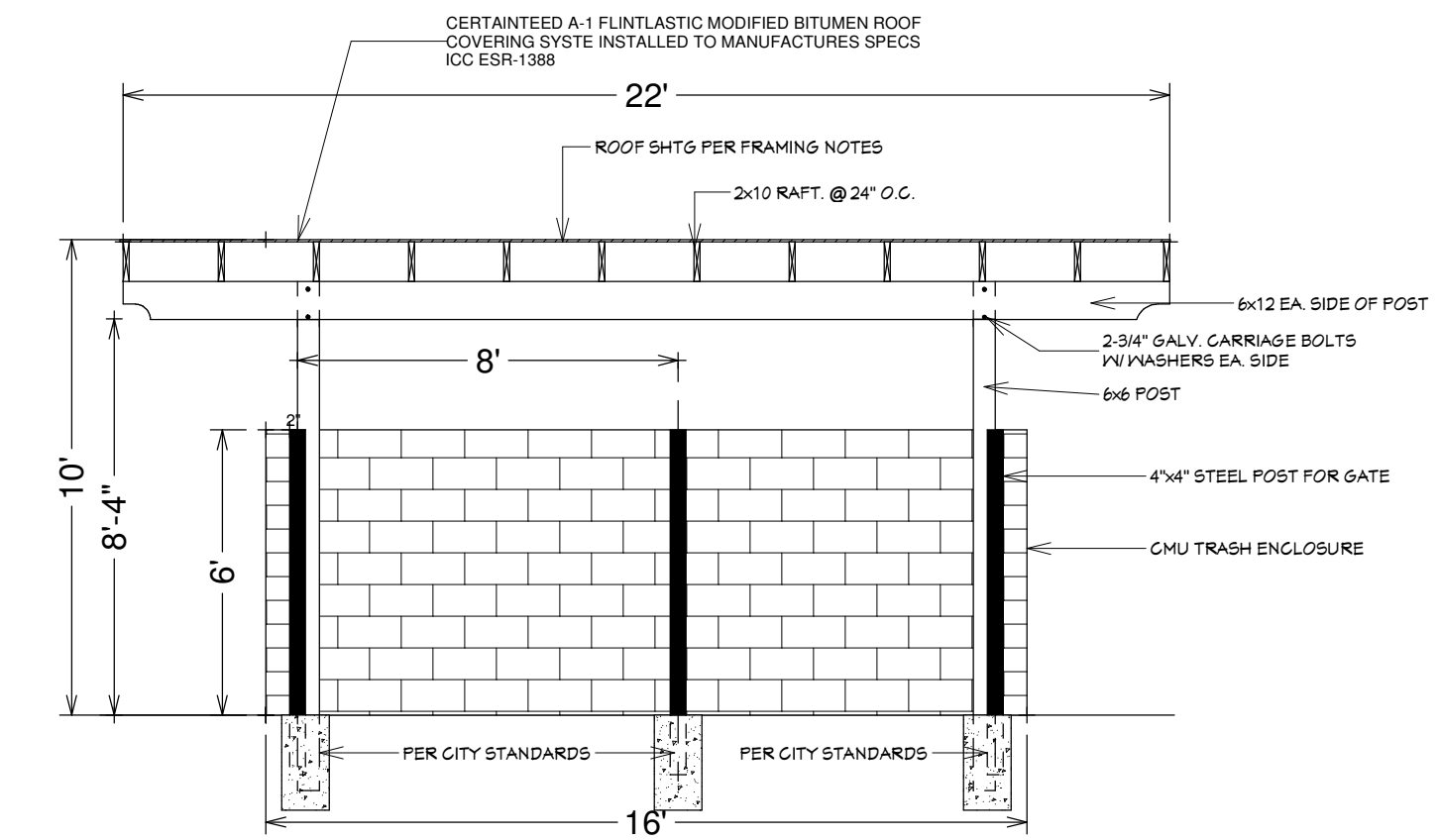
Geogrid is to be Placed on Level Backfill and Extended Over the Fiberglass Pins. Place Next Unit. Pull Grid Taut and Backfill. Stake as required.

Grid & Pin Connection



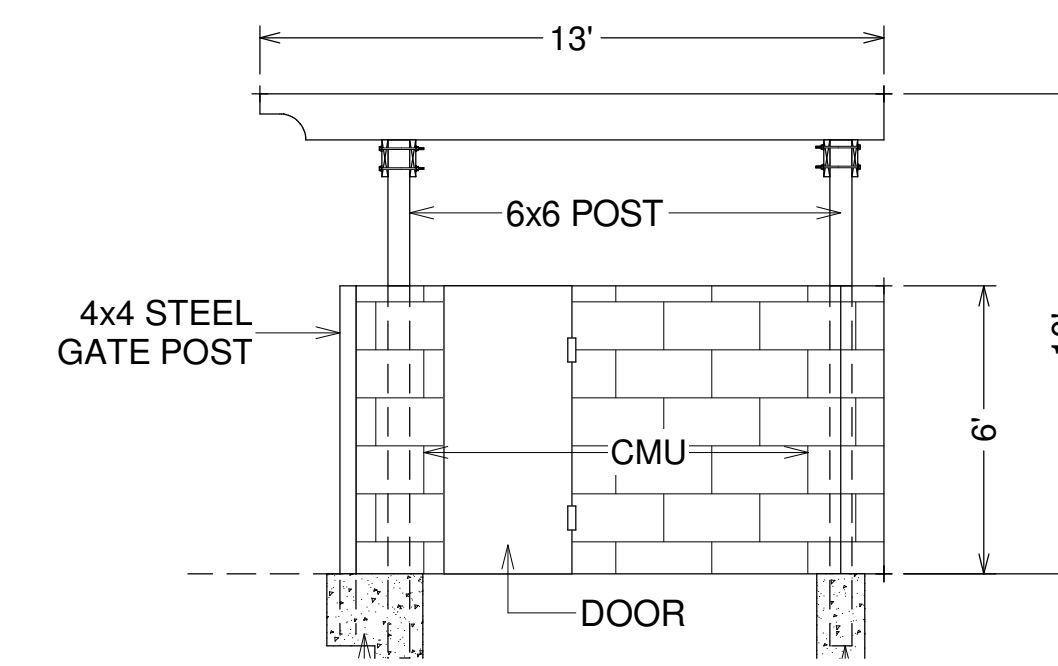
Standard Plan

Standard Unit
* Dimensions May Vary by Region



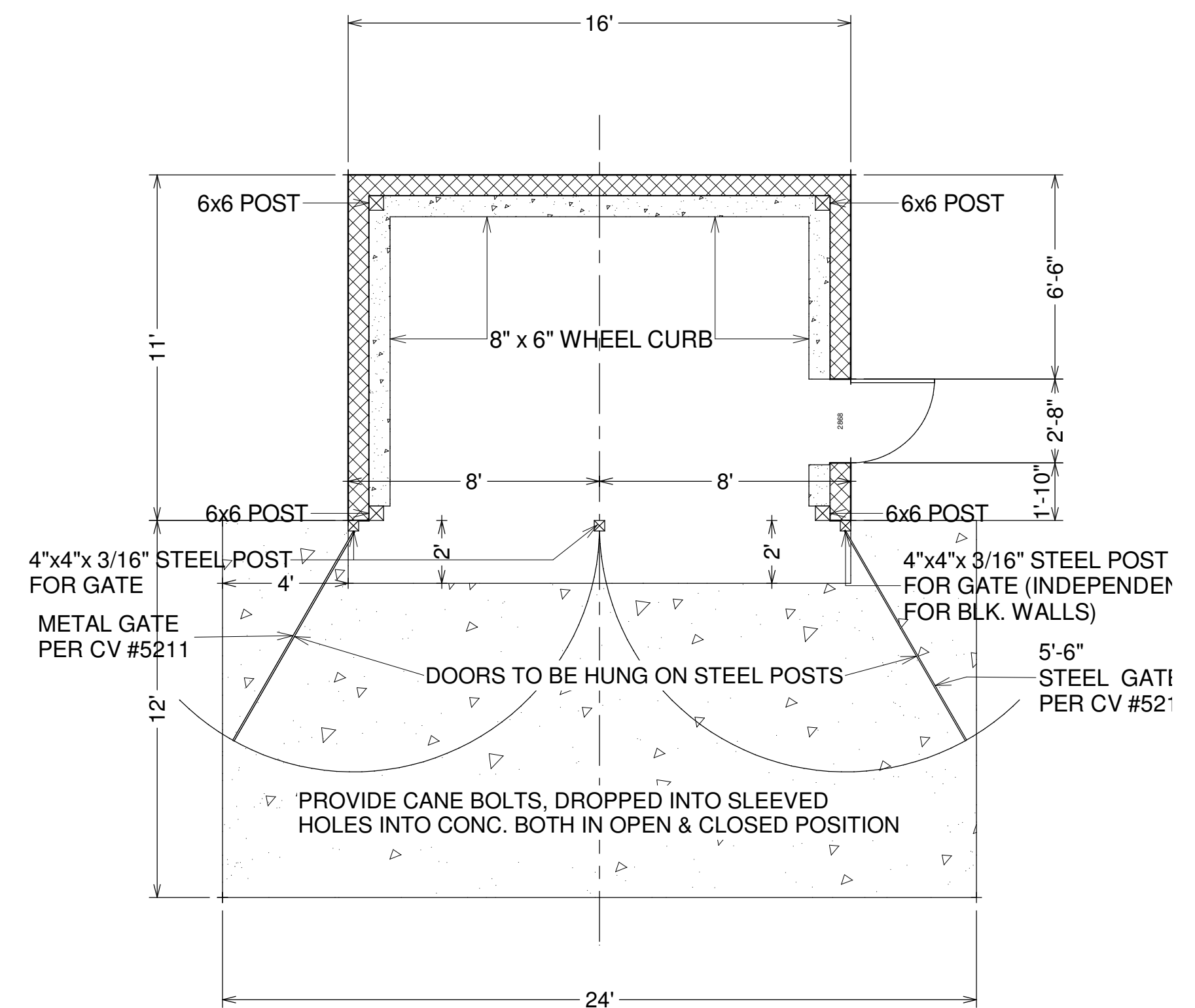
DUMPSTER FRONT ELEVATION

SCALE 1/4" = 1'-0"



DUMPSTER SIDE ELEVATION

SCALE 1/4" = 1'-0"



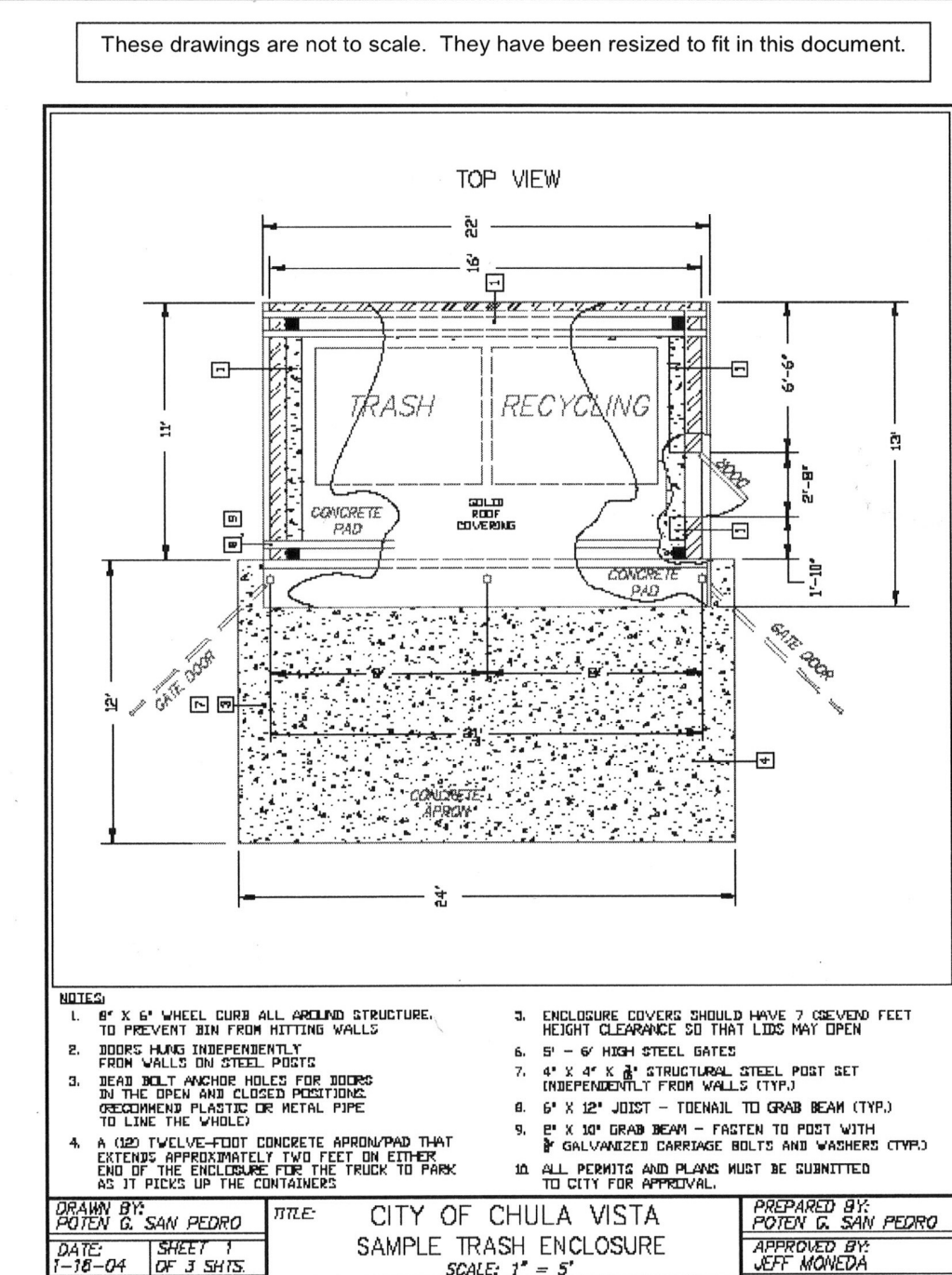
DUMPSTER ENCLOSURE FLOOR PLAN

SCALE 1/4" = 1'-0"

SEE CHULA VISTA TRASH ENCLOSURE DOCUMENT #5211

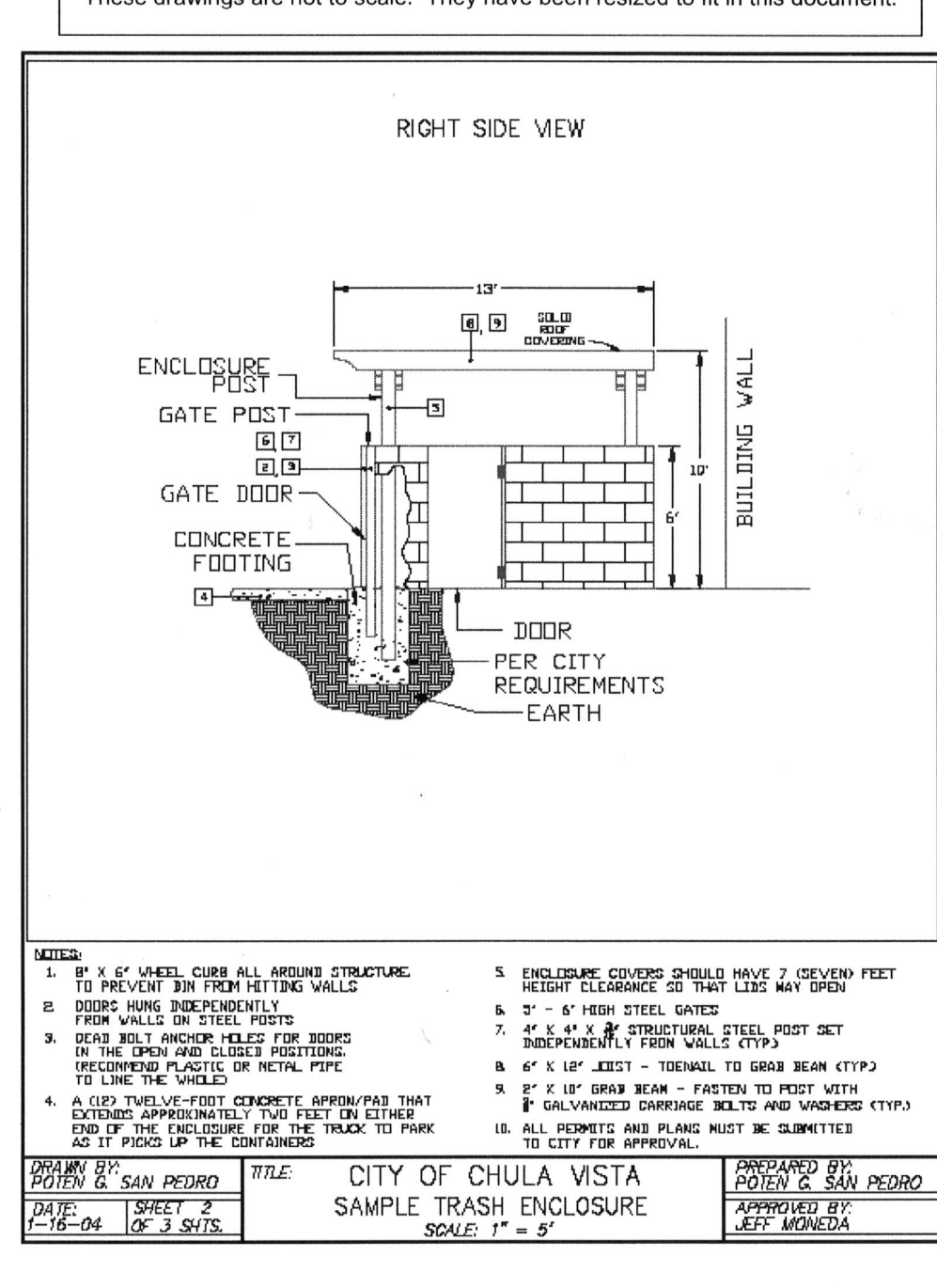
CONCRETE TO BE DRIVEN OVER BY TRASH AND RECYCLING TRUCKS TO PROVIDE SERVICE IS ENGINEERED TO WITHSTAND THE WEIGHT MULTIPLE WEEKLY TRIPS BY POTENTIALLY FULLY LOADED TRUCKS

6 - SAMPLE DRAWINGS OF ENCLOSURES



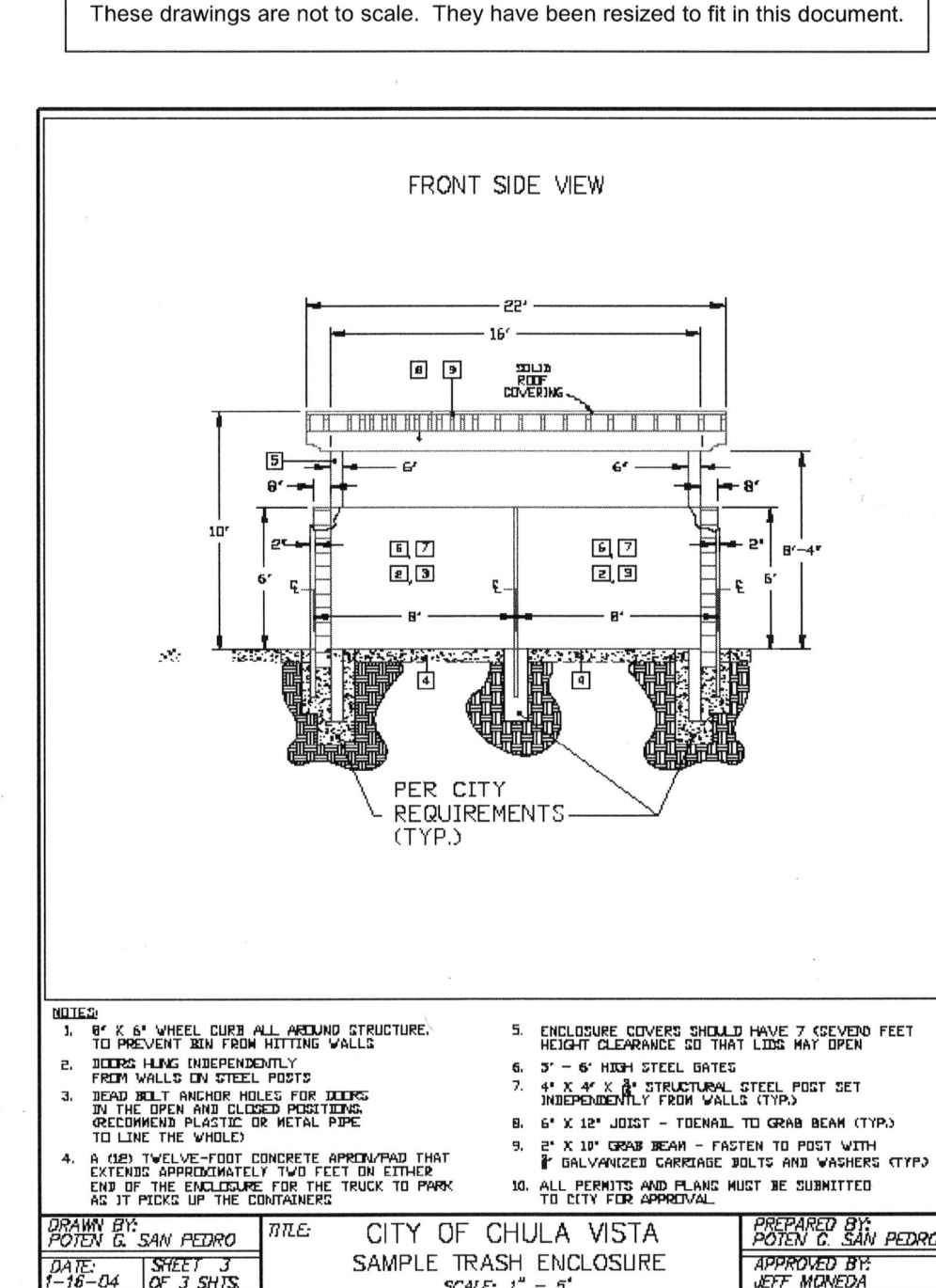
These drawings are not to scale. They have been resized to fit in this document.

RIGHT SIDE VIEW

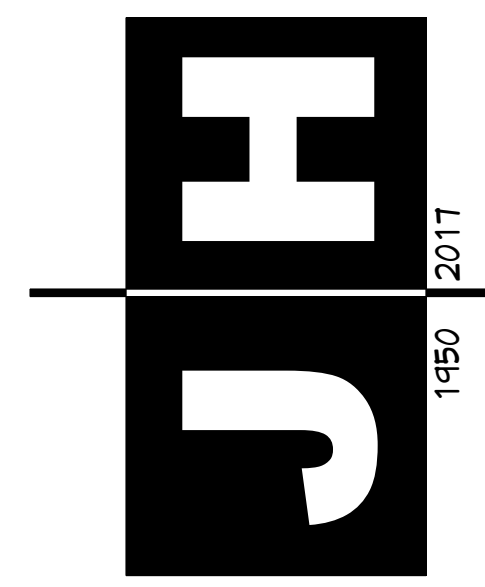


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FRONT SIDE VIEW



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4/30/2020

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CHULA VISTA, CA

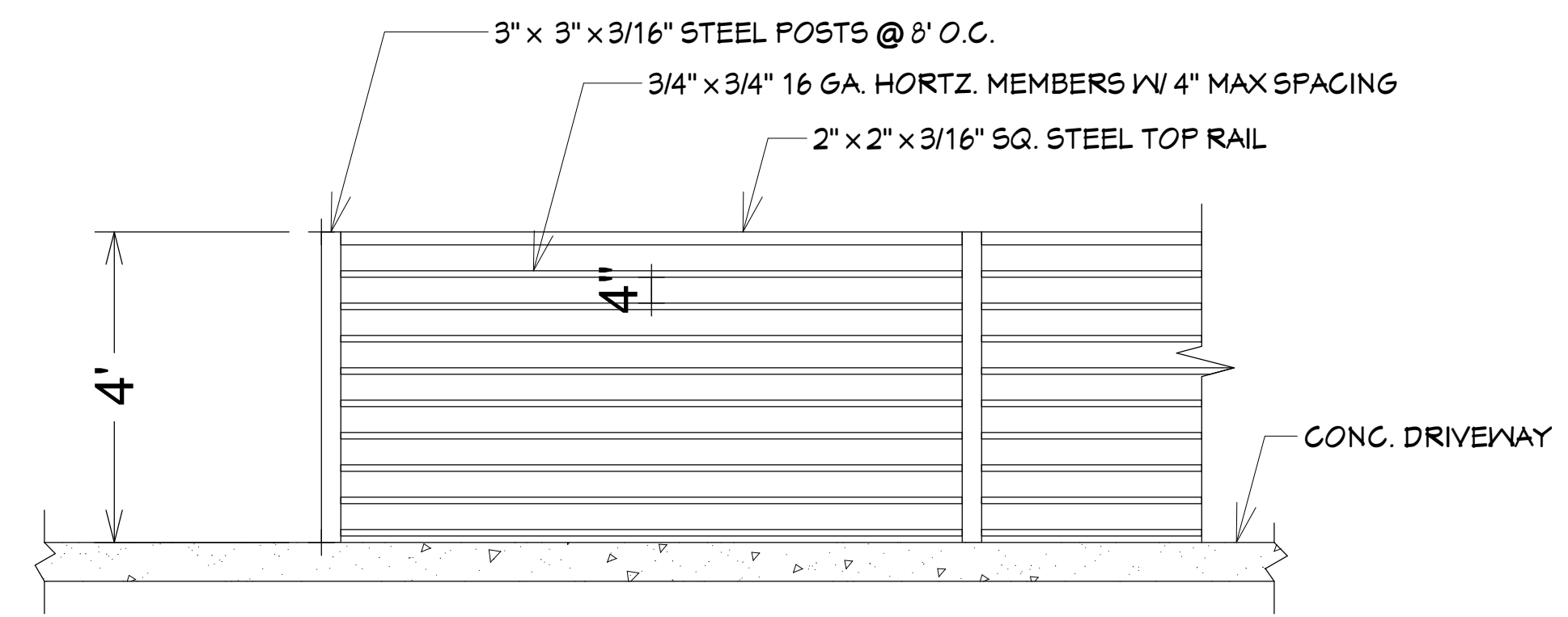
PROJECT ENGINEER:
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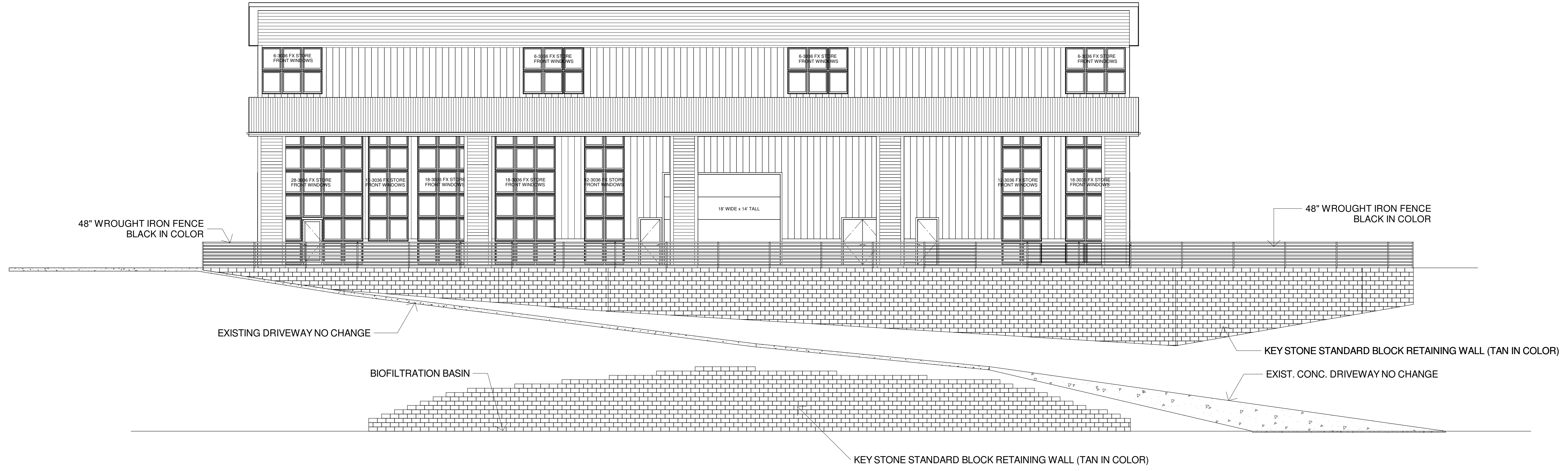
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A-7 of 13

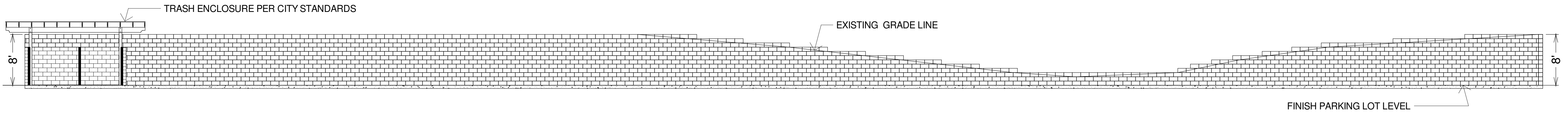
CHULA VISTA DOCUMENT #5211



FRONT FENCE / RAILING AT UPPER WALL DETAIL



FRONT RETAINING WALL ELEVATION
SCALE 1/8" = 1'-0"



REAR RETAINING WALL ELEVATION
SCALE 1/8" = 1'-0"