



Our Team

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Irvine, CA 92612

Owner:

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2850 Redhill Avenue, Suite 200
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27156 Burbank
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Landscape Architect:

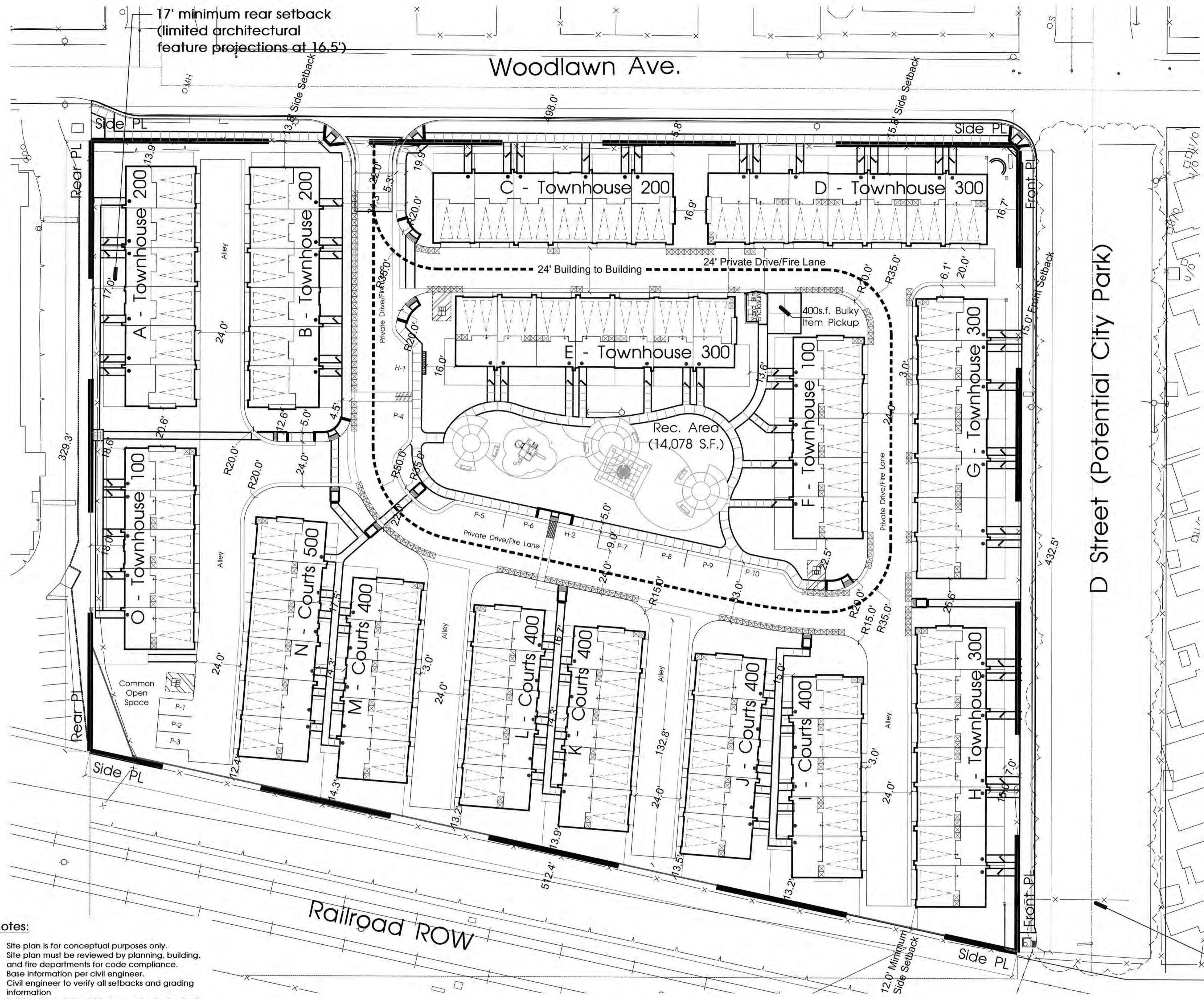
Contact: Peter A. Duarte
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www.studio-PAD.com

studio PAD, Inc.
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Aliso Viejo, CA 92656

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- Notes:**
1. Site plan is for conceptual purposes only.
 2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
 3. Base information per civil engineer.
 4. Civil engineer to verify all setbacks and grading information.
 5. Building Footprints might change due to the final design elevation style.
 6. Open space area is subject to change due to the balcony design of the elevation.
 7. Building setbacks are measured from property lines to building foundation lines.
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CONCEPTUAL SITE PLAN

701 D STREET
CHULA VISTA, CA

Project Summary

Site APN: 565-290-19-00
 Total Site Area: ± 4.39 Acres
 Total Units: 87 Homes
 • (31) Courtyard Homes (Courts)
 • (56) 3-Story Townhomes (Townhouse)
 Density: 19.8 Homes per Acre

Building Setbacks:

	Required	Provided
Front Yard	15'	15'
Exterior Side Yard	12'	12.0' to 15.9'
Rear	17'	17' to 18'

Parking:

- Required: 174 Spaces (2.0 spaces per home)
 • (87) Homes x 2.0 Spaces = 174 Spaces
 • (00) Guest x 0.0 Spaces = 00 Spaces
- Provided: 186 Spaces (2.14 spaces per home)
 • Garage: 174 Spaces (2 garage spaces/unit)
 • Parallel (ADA): 2 Spaces (9' x 24')
 • Head-In (Guest): 3 Spaces (9' x 18')
 • Parallel (Guest): 7 Spaces (9' x 24')

Open Space:

- Required: 46,240 S.F. Total (532 S.F. per home average)
 • (31) 3 Bed units: 14,880 S.F. (480 S.F. per home)
 • (56) 4 Bed units: 31,360 S.F. (560 S.F. per home)
- Provided: 47,269 S.F. Total (543 S.F. per home)*
 • Rec. Area: 14,078 S.F. (58' Min. Dimension)
 • Common: 14,424 S.F. (8' Min. Dimension)
 • Private: 18,767 S.F. (6' Min. Dimension)

*Does not count interior 50 S.F. balconies provided on all end units, or landscape areas

Lot Coverage: + 69,611 S.F. (36% of site)
 FAR: ± 1.06 FAR

Landscape Area**:

Required: 15% of site (28,684 S.F.)
 Provided: >15% of site (±30,000 S.F.)

**Includes Common Area (21,733) that is landscaped plus other landscape areas

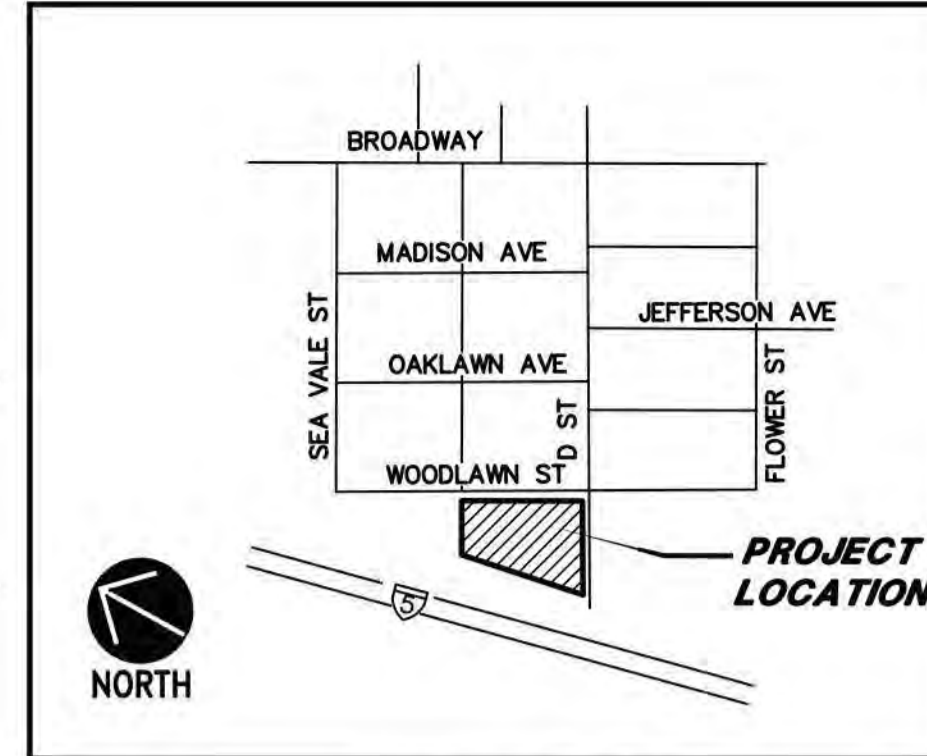
Private Storage per Unit:

Required: 250 cubic feet (3bed), 300 cubic feet (4bed)
 Provided: 320 to 520 cubic feet per unit

■■■■■■■■ Refuse Truck Path of Travel

⊠ 3'x3' Refuse Bins (2 per home - in unit and on-street locations)

Potential +/- 0.76 Acre City Park from D Street Closure



VICINITY MAP N.T.S.

Owner:
 SKK Realty, LLC
 9768 Amapola Avenue
 Fountain Valley, CA 92708

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE SOUTHERLY 541 FEET OF THE EASTERLY 470 FEET OF THE NORTHWEST QUARTER OF QUARTER SECTION 161 IN THE RANCHO DEL NACION, IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 505, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, CALIFORNIA, MARCH 13, 1888.

EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 161; THENCE NORTH 18° 32' WEST A DISTANCE OF 40 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 18° 32' WEST A DISTANCE OF 501.00 FEET; THENCE SOUTH 71° 19' WEST, A DISTANCE OF 20 FEET; THENCE SOUTH 18° 32' EAST A DISTANCE OF 498 FEET; THENCE SOUTH 26° 32' 30" WEST A DISTANCE OF 4.24 FEET; THENCE NORTH 71° 19' EAST A DISTANCE OF 23 FEET TO THE TRUE POINT OF BEGINNING.

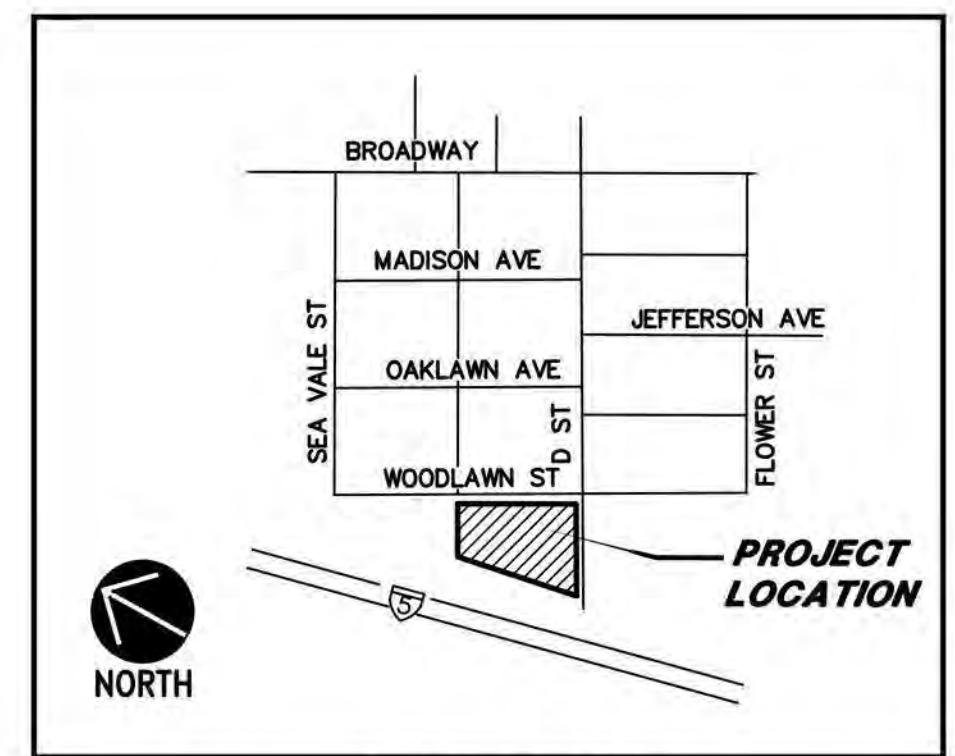
ALSO EXCEPTING THEREFROM THAT PART OF THAT PORTION OF THE NORTHWEST QUARTER OF QUARTER SECTION 161 OF THE RANCHO DE LA NACION, ACCORDING TO MAP NO. 505 FILED MARCH 13, 1888, IN THE OFFICE OF THE RECORDER OF SAID COUNTY, SAID PORTION DESCRIBED IN DEED TO SAM KUBOTA AND KAROU KUBOTA, HUSBAND AND WIFE, RECORDED MARCH 1, 1966 AS FILE NO. 35042 OF OFFICIAL RECORDS OF SAID COUNTY; SAID PART BEING A STRIP OF LAND 100.00 FEET IN WIDTH, LYING EASTERLY OF, PARALLEL AND CONCENTRIC WITH AND CONTIGUOUS TO THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF SAID NORTHWEST QUARTER, DISTANT ALONG SAID NORTHERLY LINE, SOUTH 72° 08' 04" WEST 289.72 FEET FROM THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER, SAID CORNER MARKED BY A 12-INCH BY 12-INCH CONCRETE MONUMENT WITH HOLE IN CENTER; THENCE (1) SOUTH 8° 13' 15" EAST 86.70 FEET; THENCE (2) ALONG A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 2814.82 FEET, THROUGH A CENTRAL ANGLE OF 2° 38' 19" AN ARC DISTANCE OF 129.63 FEET; THENCE (3) SOUTH 5° 34' 56" EAST, 1083.73 FEET; THENCE (4) ALONG A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2914.82 FEET, THROUGH AN ANGLE OF 8° 27' 59" AN ARC DISTANCE OF 430.71 FEET TO A POINT IN THE EASTERLY LINE OF THE WESTERLY 40 FEET OF THE EAST ONE-HALF OF SAID NORTHWEST QUARTER, SAID EASTERLY LINE ALSO BEING THE EASTERLY LINE OF THAT PUBLIC ROAD DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO, RECORDED OCTOBER 3, 1884 IN BOOK 232, PAGE 106 OF DEEDS OF SAID COUNTY, LAST SAID POINT DISTANT ALONG SAID EASTERLY LINE, SOUTH 17° 42' 28" EAST, 467.92 FEET FROM THE INTERSECTION OF SAID EASTERLY LINE WITH THE SOUTHERLY LINE OF THE SOUTHERLY 541 FEET OF SAID NORTHWEST QUARTER.

ALSO EXCEPTING THEREFROM THE SOUTHERLY 40.00 FEET AS CONVEYED TO THE CITY OF CHULA VISTA IN THE DOCUMENT RECORDED MAY 11, 1925 IN BOOK 1073, PAGE 468 OF DEEDS.

APN: 565-290-19-00





VICINITY MAP
N.T.S.

Project Summary

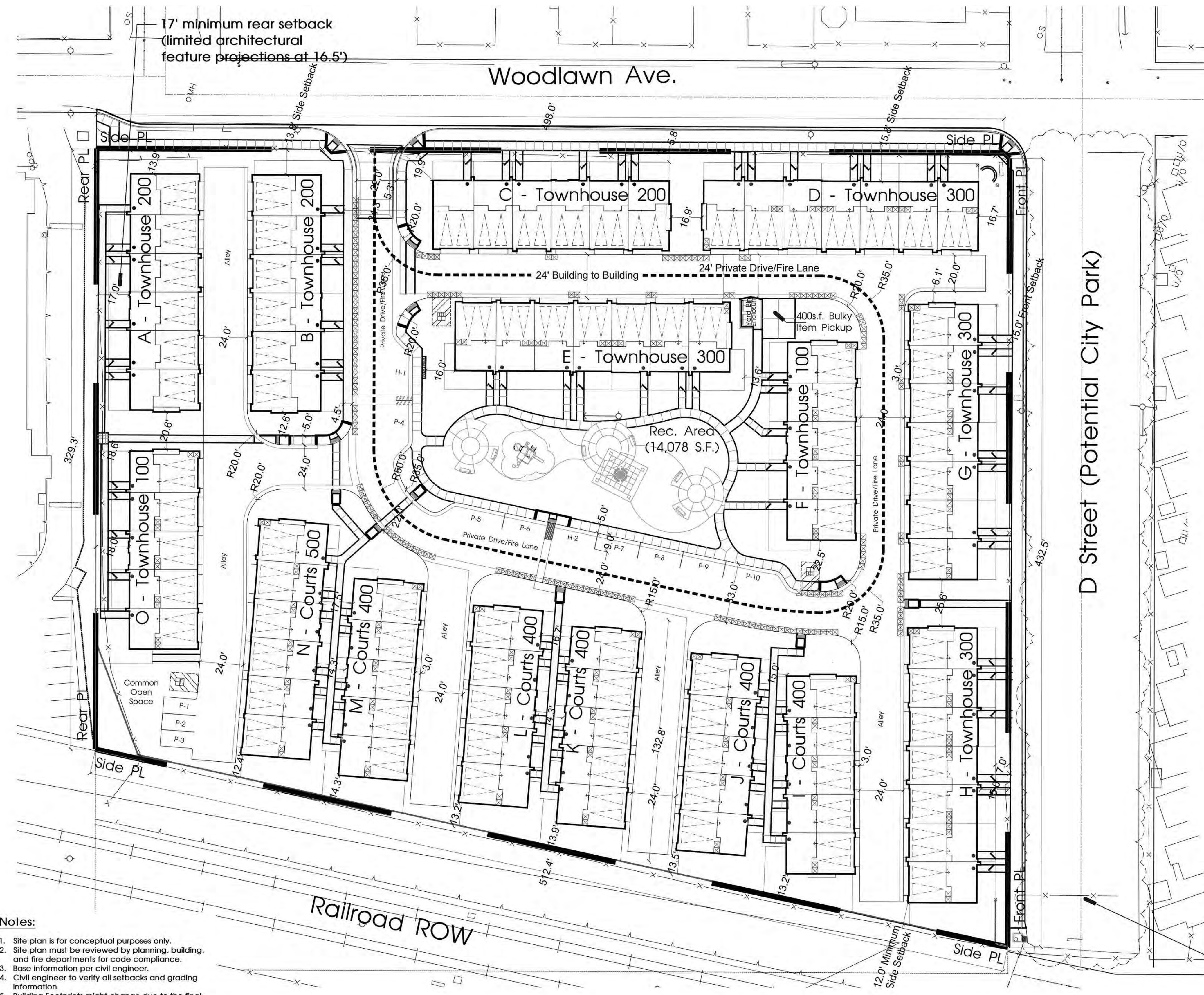
Site APN: 565-290-19-00
 Total Site Area: ± 4.39 Acres
 Total Units: 87 Homes
 • (31) Courtyard Homes (Courts)
 • (56) 3-Story Townhomes (Townhouse)
 Density: 19.8 Homes per Acre

Unit & Building Tabulations:			
Building Types	Unit Types	No. of Buildings	No. of Units
Building 100 - Townhouse 	(3) Plan 1A/1B/1D (2) Plan 3A/3AX (ADA)	2	6 4
Building 200 - Townhouse 	(4) Plan 1A/1B/1C/1D (2) Plan 3A/3AX (ADA)	3	12 6
Building 300 - Townhouse 	(5) Plan 1A/1B/1C/1D (2) Plan 3A/3AX (ADA)	4	20 8
Building 400 - Courtyard 	(3) Plan 2 (2) Plan 3A/3AX (ADA)	5	15 10
Building 500 - Courtyard 	(4) Plan 2 (2) Plan 3A/3AX (ADA)	1	4 2

- Refuse Truck Path of Travel
- ☒ 3'x3' Refuse Bins (2 per home - in unit and on-street locations)

Potential +/- 0.76 Acre City Park from D Street Closure

CONCEPTUAL SITE PLAN - UNIT MATRIX



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 Required: 46,240 S.F. Total (532 S.F. per home average)

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- (56) 4 Bed units: 31,360 S.F. (560 S.F. per home)

Provided: 47,269 S.F. Total (543 S.F. per home)*

- Rec. Area: 14,078 S.F. (58' Min. Dimension)
- Common: 14,424 S.F. (8' Min. Dimension)
- Private: 18,767 S.F. (6' Min. Dimension)

*Does not count interior 50 S.F. balconies provided on all end units, or landscape areas

Lot Coverage: ± 69,611 S.F. (36% of site)
 FAR: ± 1.06 FAR

Landscape Area**:
 Required: 15% of site (28,684 S.F.)
 Provided: >15% of site (±30,000 S.F.)

*Includes Common Area (14,424) that is landscaped, half of Rec. Area that is non-hardscape, plus other
 **Landscape Areas* shown on plan.

- Landscape Area (in addition to Common Open Space)
- Common Open Space
- Ground Level Private Open Space (6' minimum dimension)
- Ground Level Private Open Space Doesn't Count (less than 6' dimension)
- Area Not Counted Toward Open Space

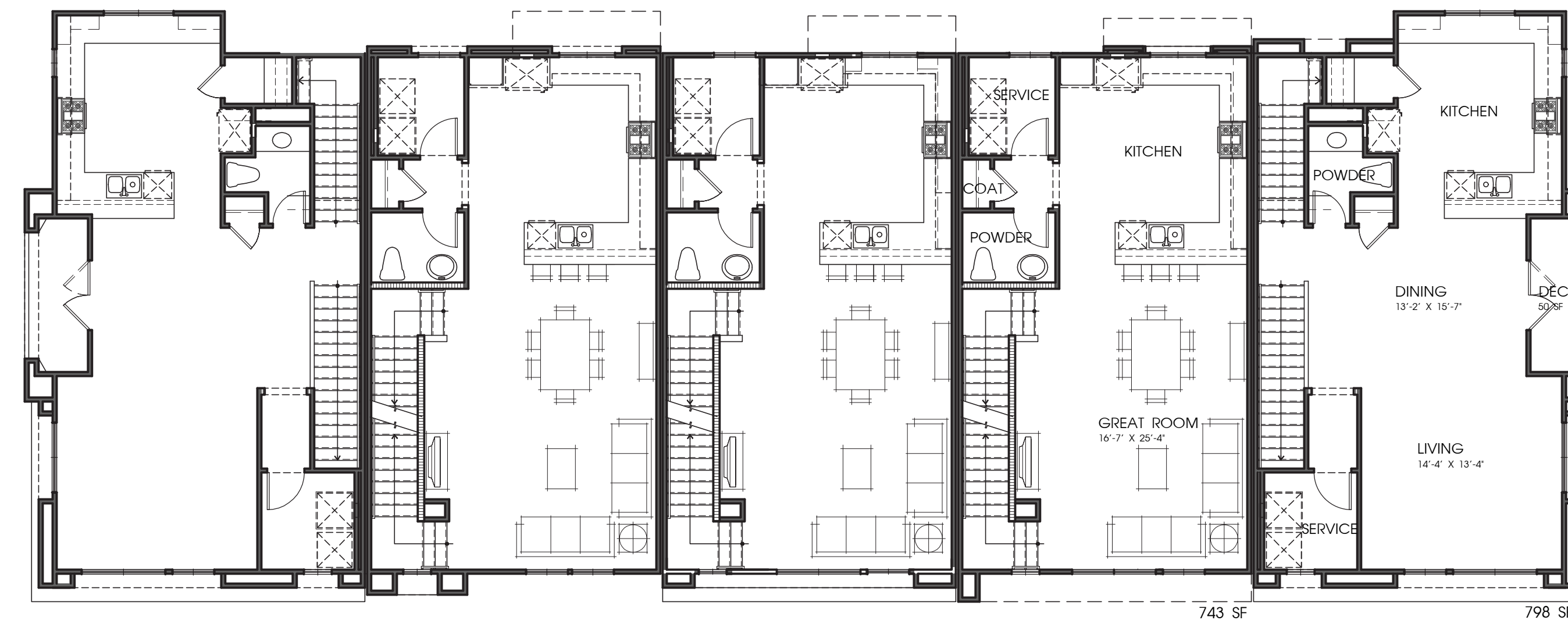
Notes:

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Potential +/- 0.76 Acre
 City Park from D Street
 Closure

WILLIAM HEZMALHALCH ARCHITECTS, INC. © 2015

OPEN SPACE CALCULATION SITE PLAN



PLAN 3AX
(ADA Unit)

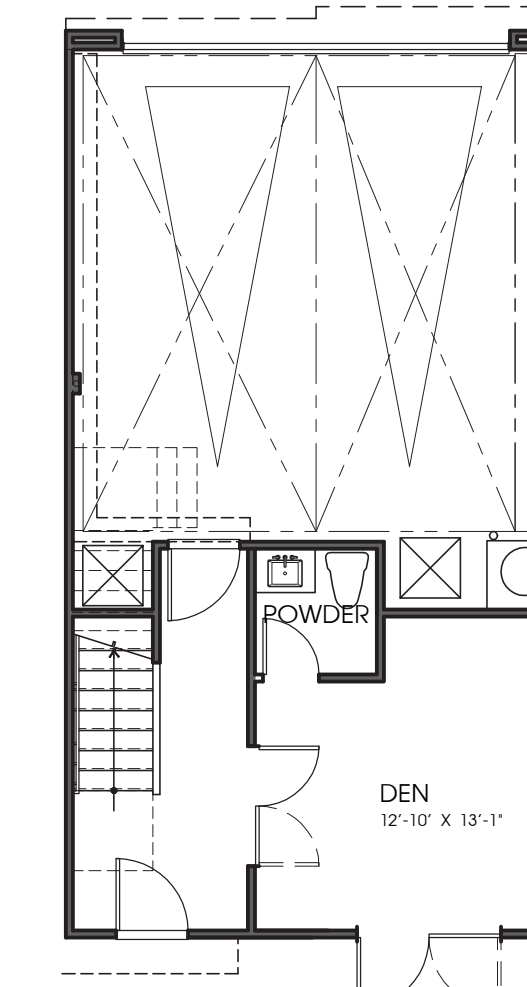
PLAN 1A

PLAN 1D

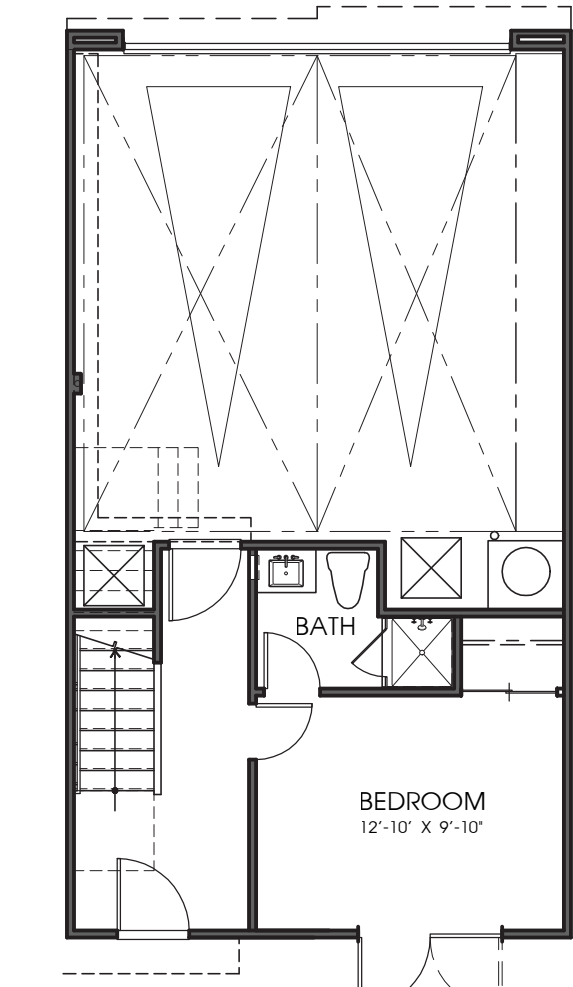
PLAN 1B

PLAN 3A

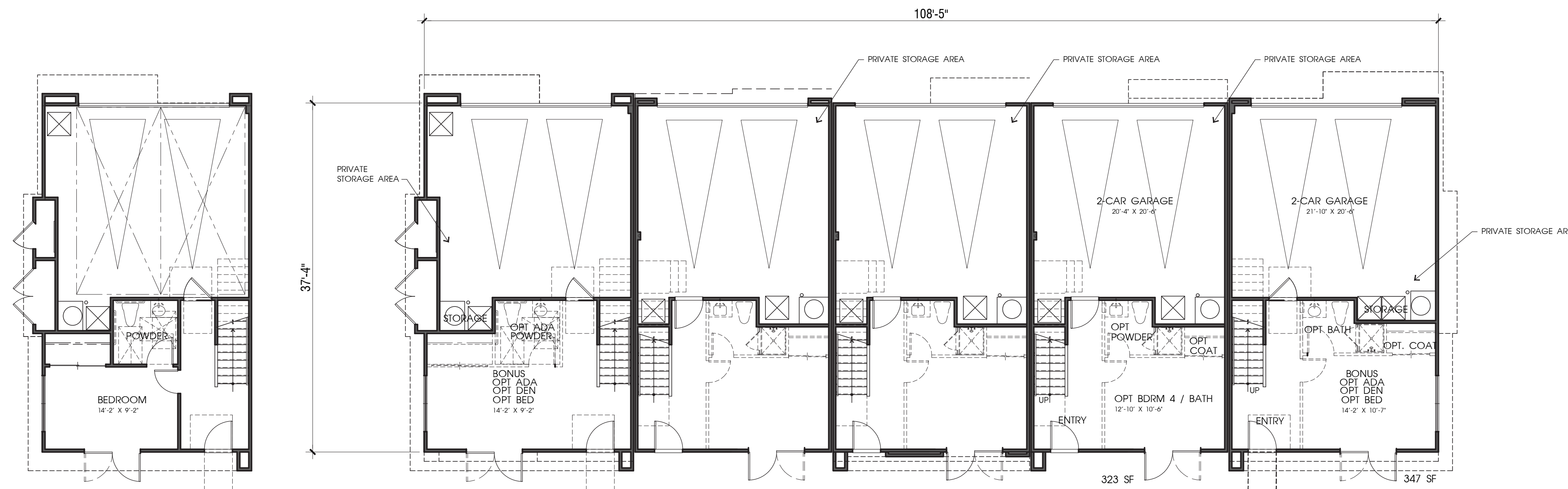
SECOND FLOOR



PLAN 1A - 1ST FLR.
(Den Option)



PLAN 1A - 1ST FLR.
(Bedroom Option)



PLAN 3AX
(ADA Unit)

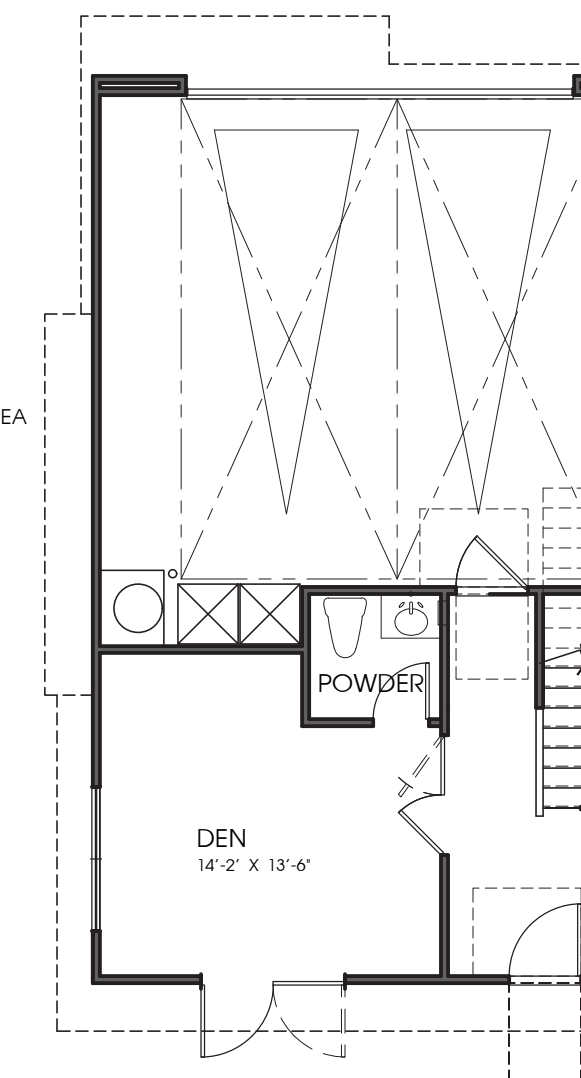
PLAN 3AX (ADA Unit)
1,953 SF
3 Bdrm/2.5+ Opt. .5 Ba
Opt. ADA/Den/Bdrm. 4
2 Car Garage
440 Cu. ft. storage

PLAN 1A
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

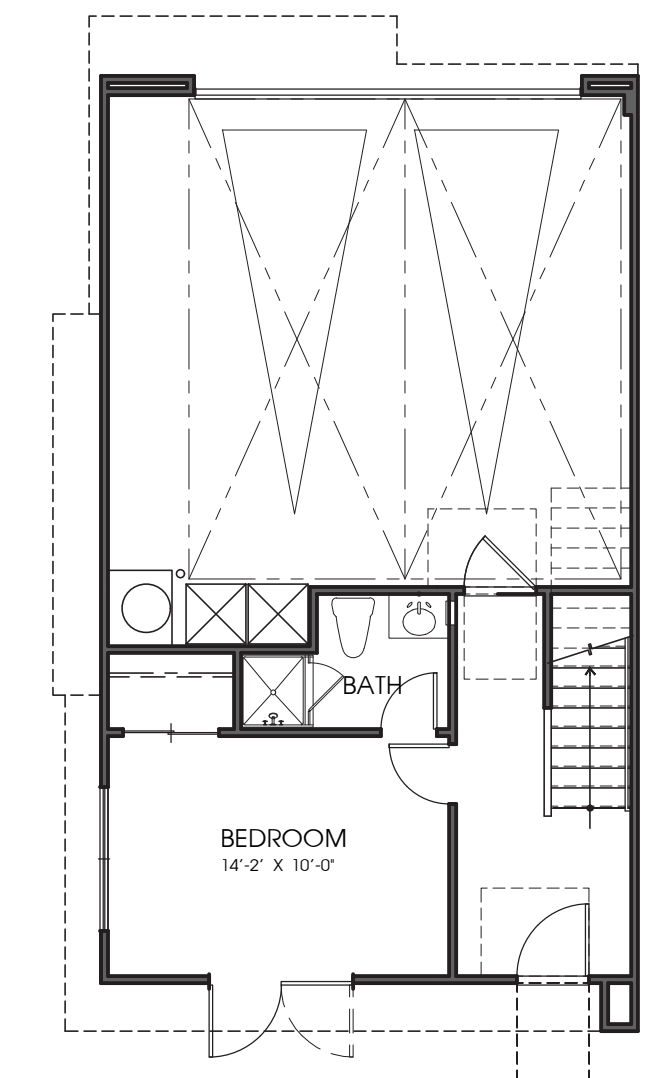
PLAN 1D
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

PLAN 1B
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

PLAN 3A
1,953 SF
3 Bdrm/2.5+ Opt. .5 Ba
Opt. ADA/Den/Bdrm. 4
2 Car Garage
528 Cu. ft. storage



PLAN 3A
(Den Option)

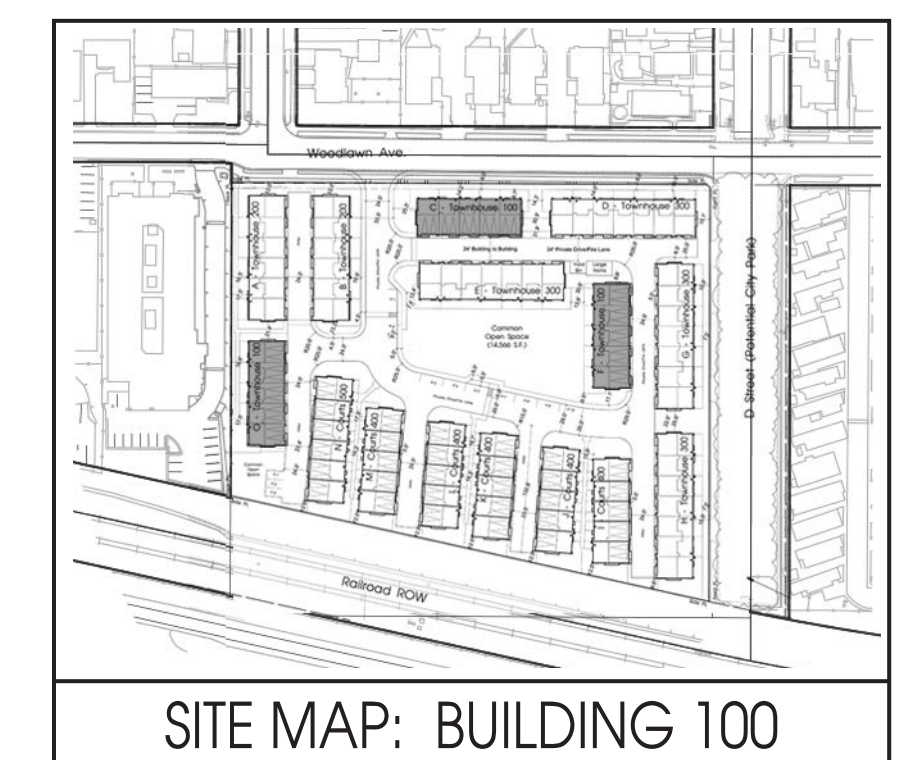


PLAN 3A
(Bedroom Option)

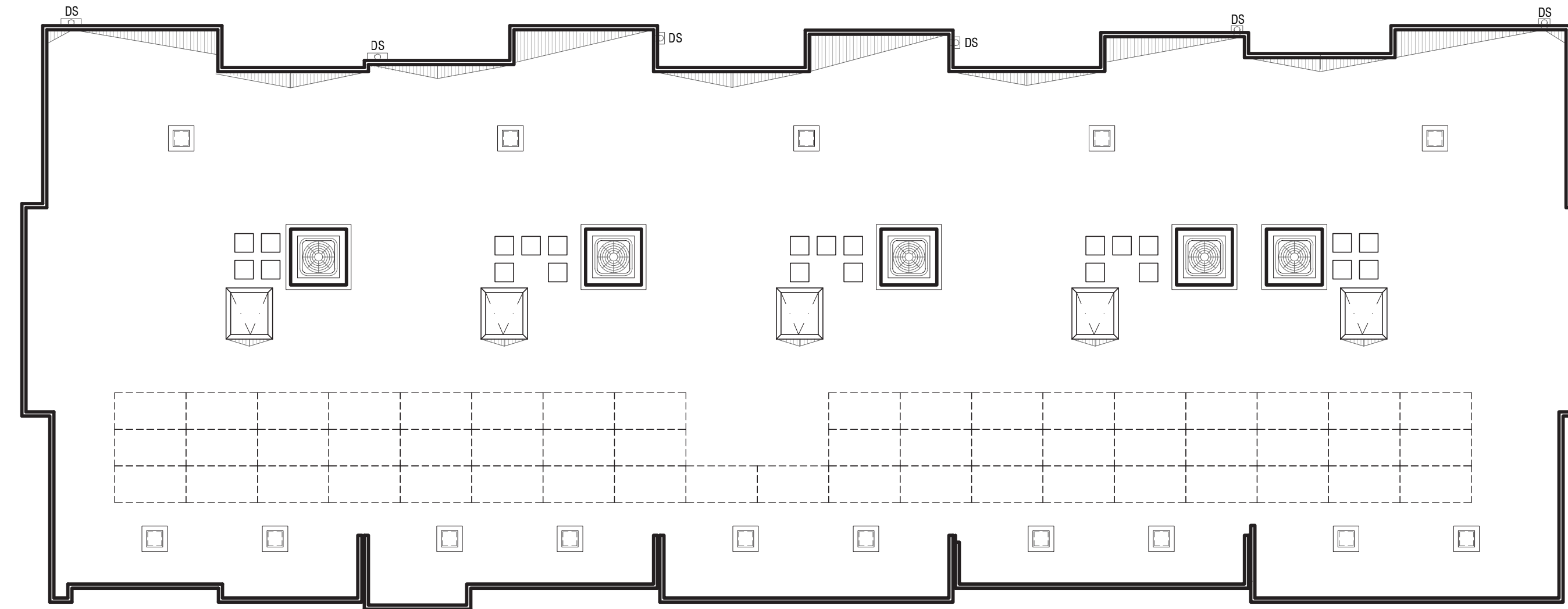
FIRST FLOOR

TOWNHOUSE: BUILDING 100 (FIVE-PLEX)

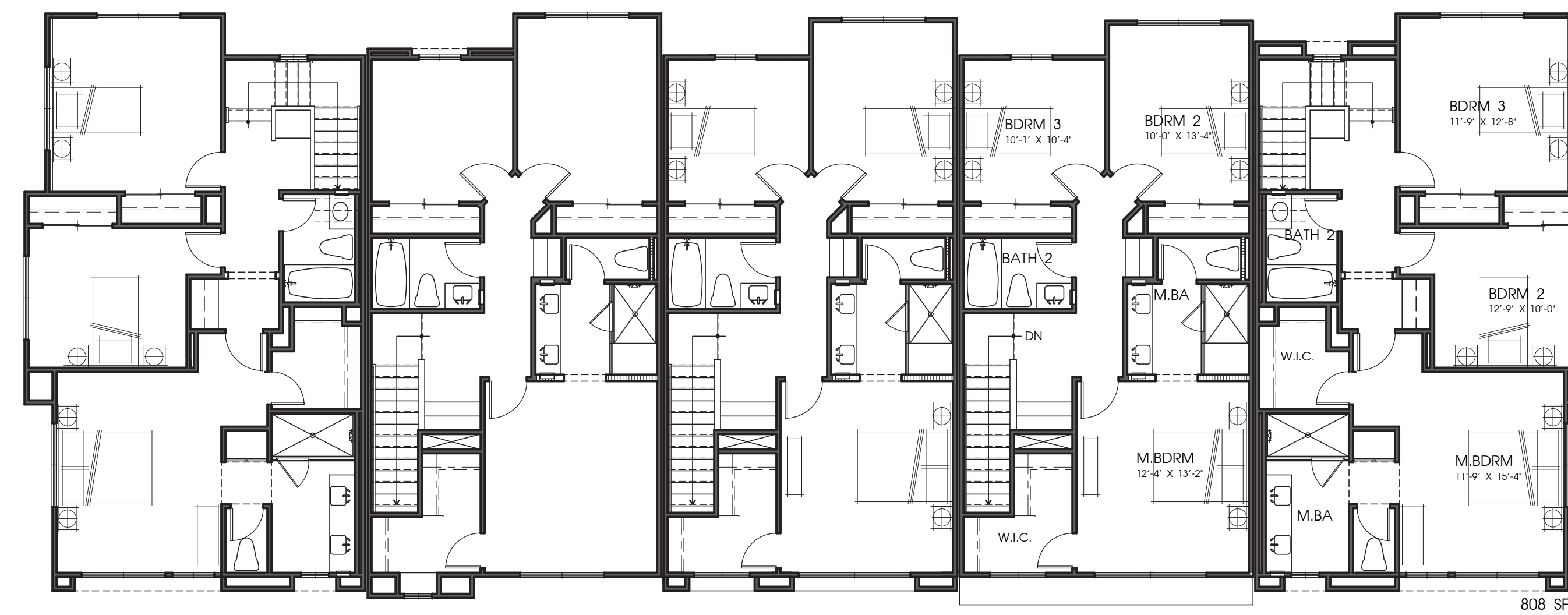
TOTAL BUILDING AREA: 12,129 SF
OCCUPANCY: R3/U TOWNHOME
SPRINKLER SYSTEM: 13D
CONSTRUCTION: VB



SITE MAP: BUILDING 100



ROOF PLAN



PLAN 3AX
(ADA Unit)

PLAN 1A

PLAN 1D

PLAN 1B

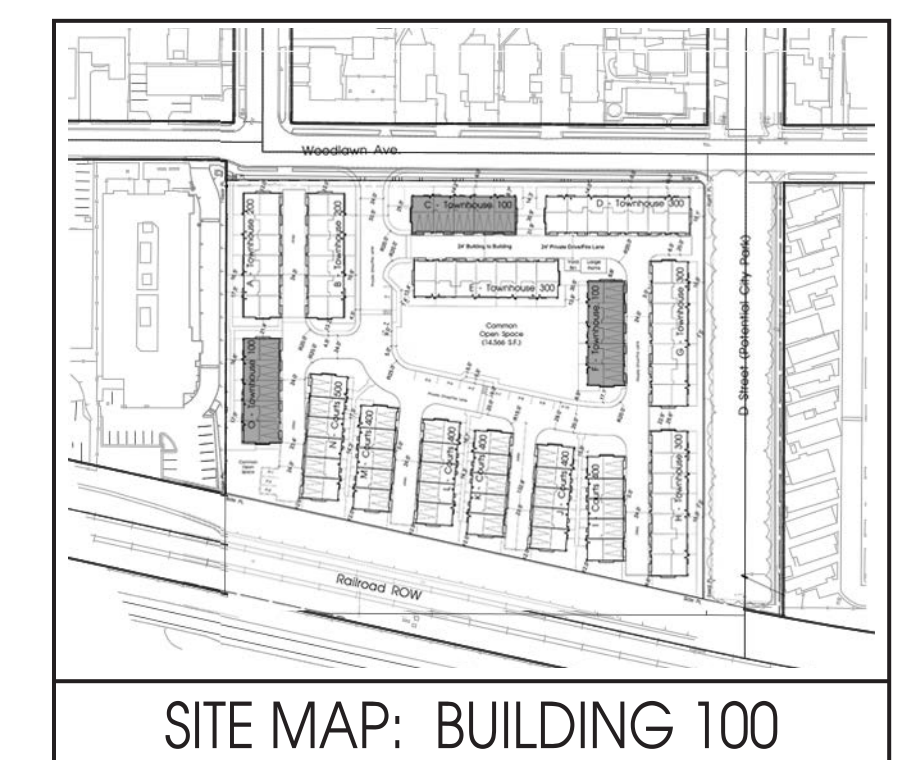
PLAN 3A

724 SF

THIRD FLOOR

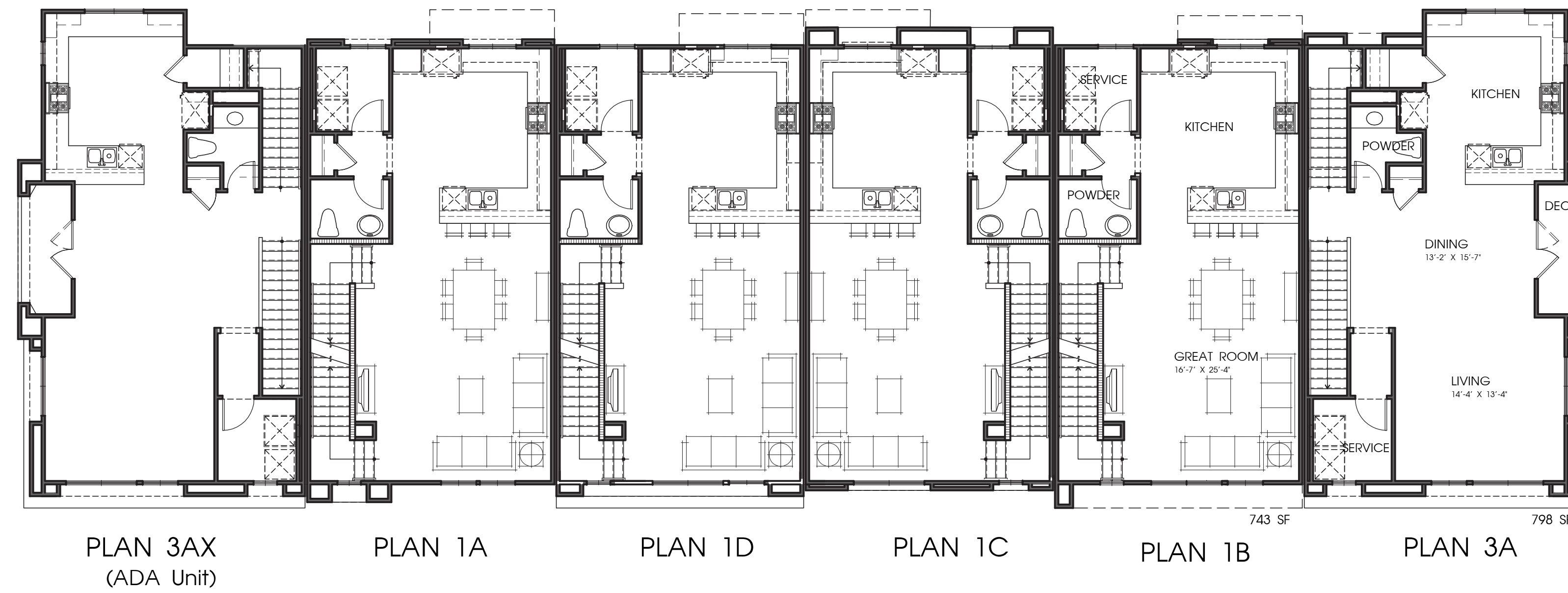
TOWNHOUSE: BUILDING 100 (FIVE-PLEX)

TOTAL BUILDING AREA: 12,129 SF
 OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
 CONSTRUCTION: VB

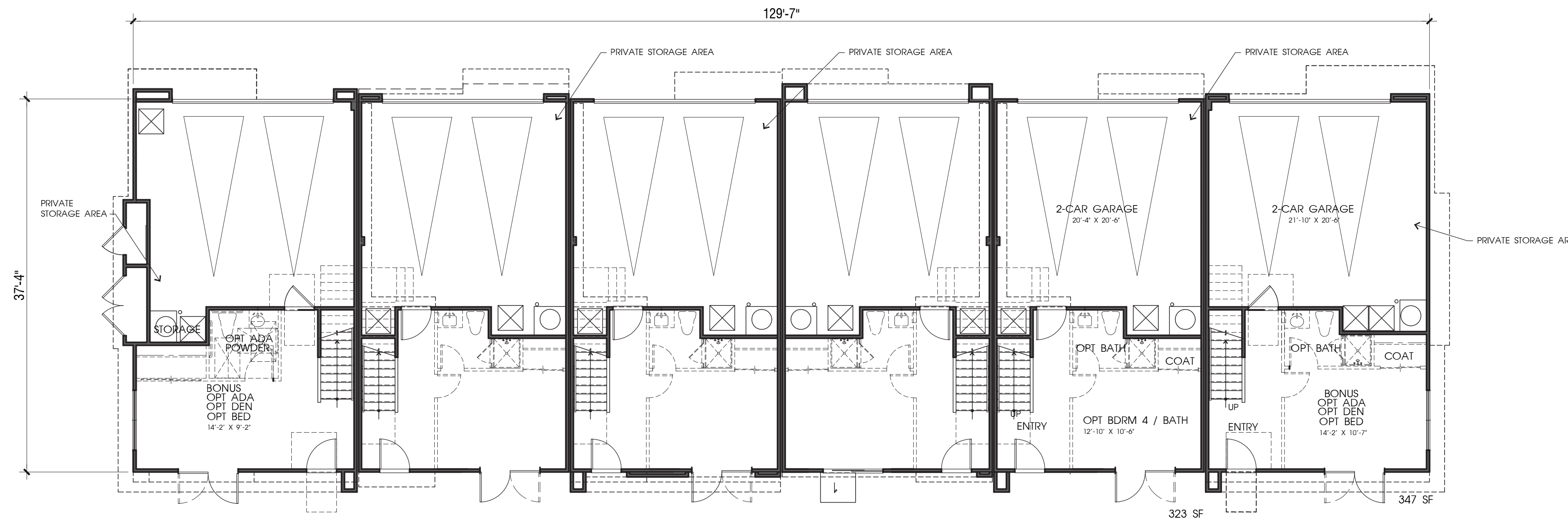


SITE MAP: BUILDING 100

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SECOND FLOOR



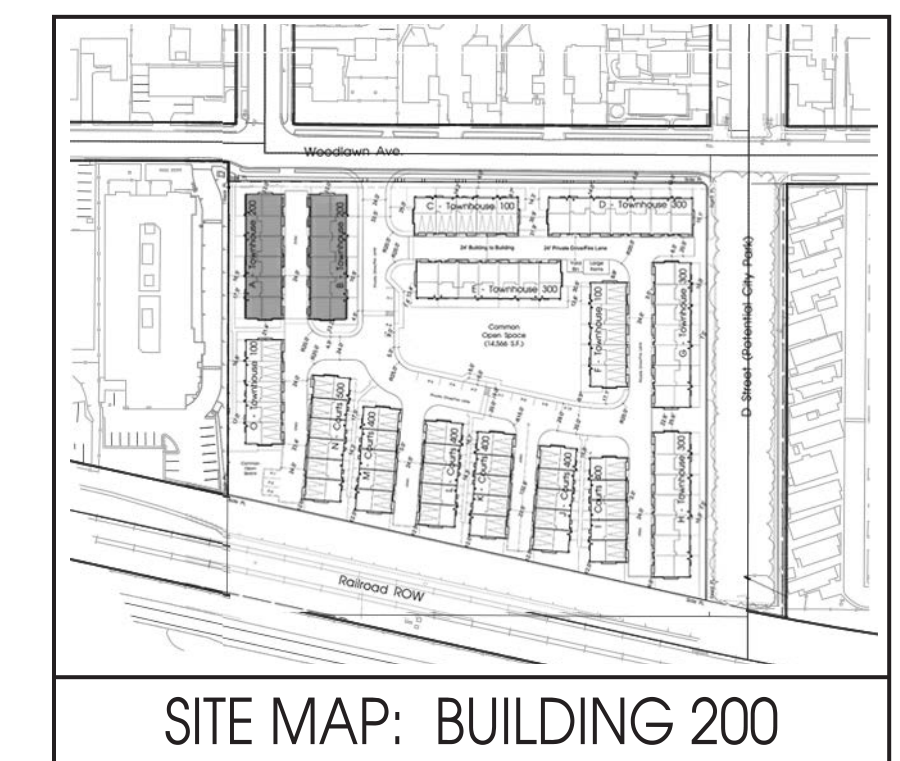
PLAN 3AX (ADA Unit)	PLAN 1A	PLAN 1D	PLAN 1C	PLAN 1B	PLAN 3A
1,953 SF	1,790 SF	1,790 SF	1,790 SF	1,790 SF	1,953 SF
3 Bdrm/2.5+ Opt. .5 Ba	3 Bdrm/2.5 Ba	3 Bdrm/2.5 Ba	3 Bdrm/2.5 Ba	3 Bdrm/2.5 Ba	3 Bdrm/2.5+ Opt. .5 Ba
Opt. ADA/Den/Bdrm. 4	Opt. Bdrm. 4/Ba 3	Opt. Bdrm. 4/Ba 3	Opt. Bdrm. 4/Ba 3	Opt. Bdrm. 4/Ba 3	Opt. ADA/Den/Bdrm. 4
2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage	2 Car Garage
440 Cu. ft. storage	312 Cu. ft. storage	312 Cu. ft. storage	312 Cu. ft. storage	312 Cu. ft. storage	528 Cu. ft. storage

FIRST FLOOR

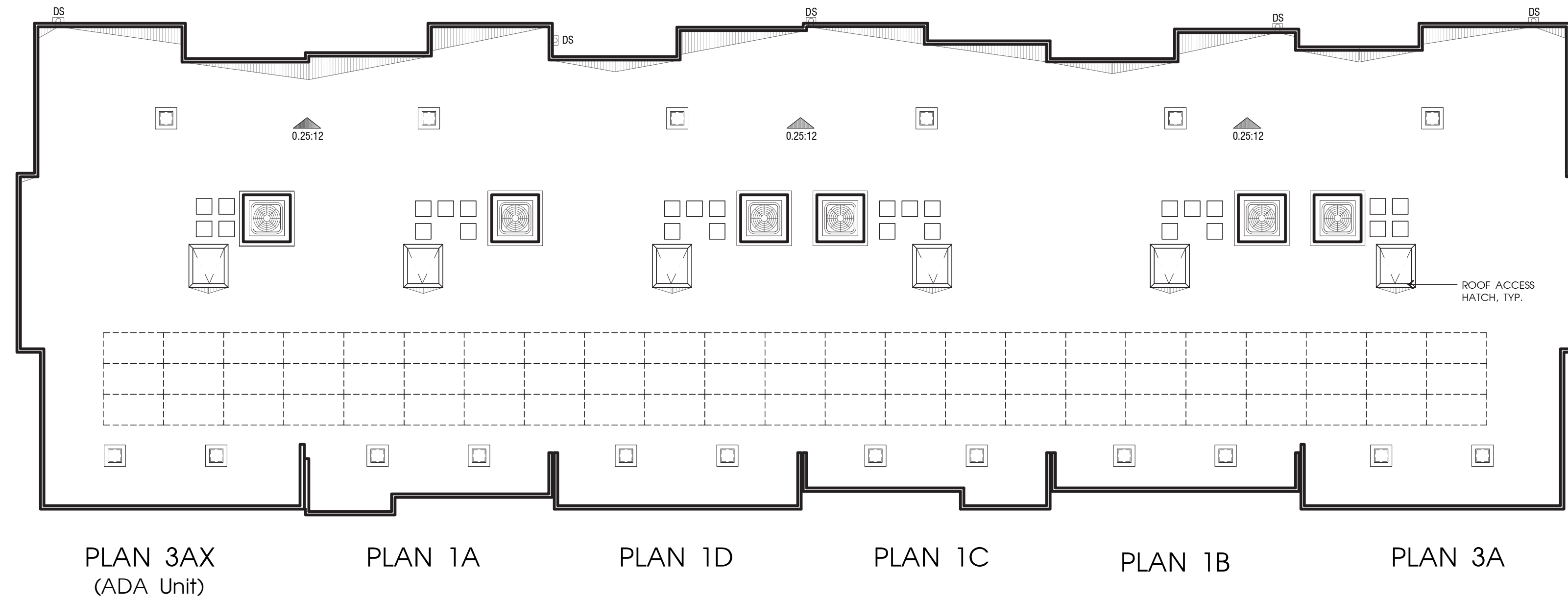
TOWNHOUSE: BUILDING 200 (SIX-PLEX)

TOTAL BUILDING AREA: 14,580 SF

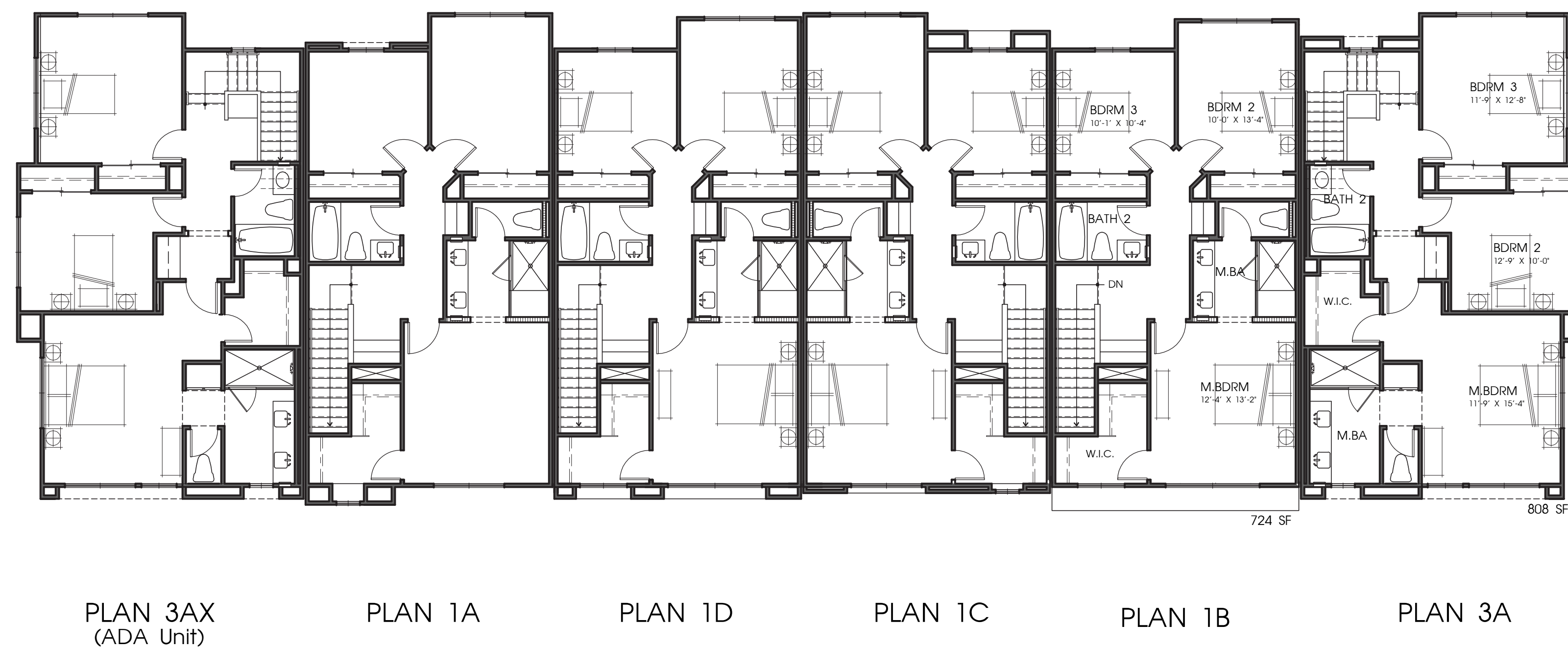
OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
 CONSTRUCTION: VB



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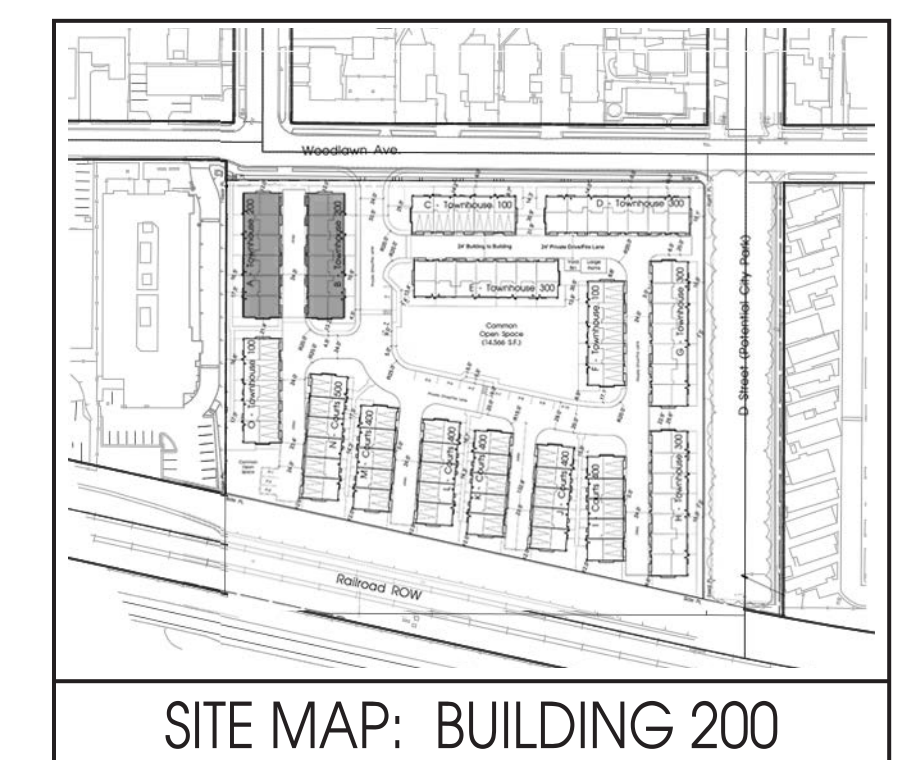
ROOF PLAN



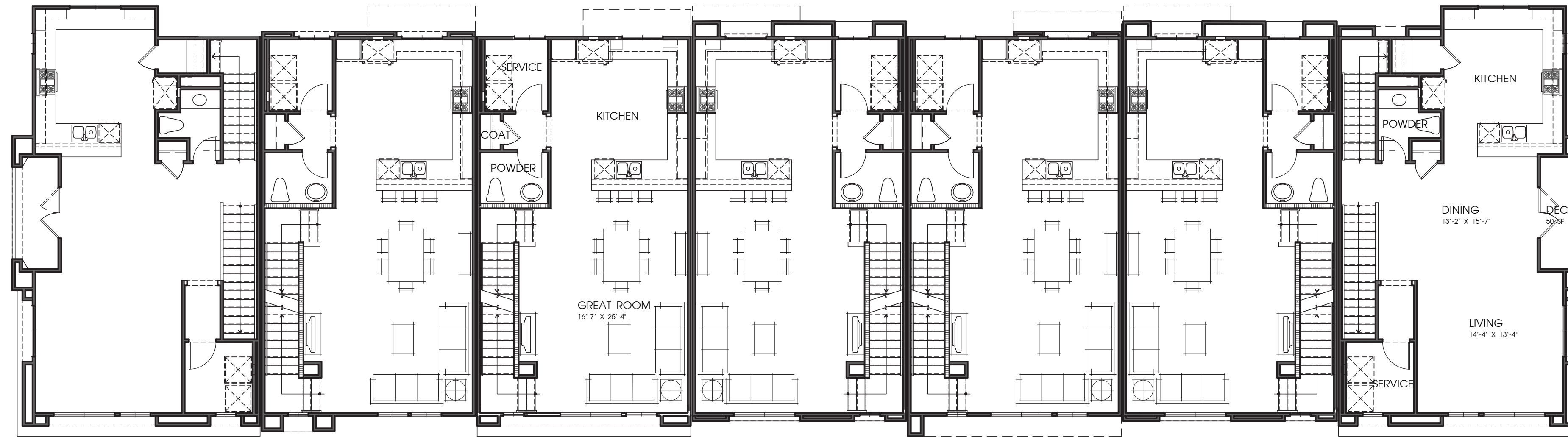
THIRD FLOOR

TOWNHOUSE: BUILDING 200 (SIX-PLEX)

TOTAL BUILDING AREA: 14,580 SF
 OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
 CONSTRUCTION: VB



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PLAN 3AX
(ADA Unit)

PLAN 1A

PLAN 1D

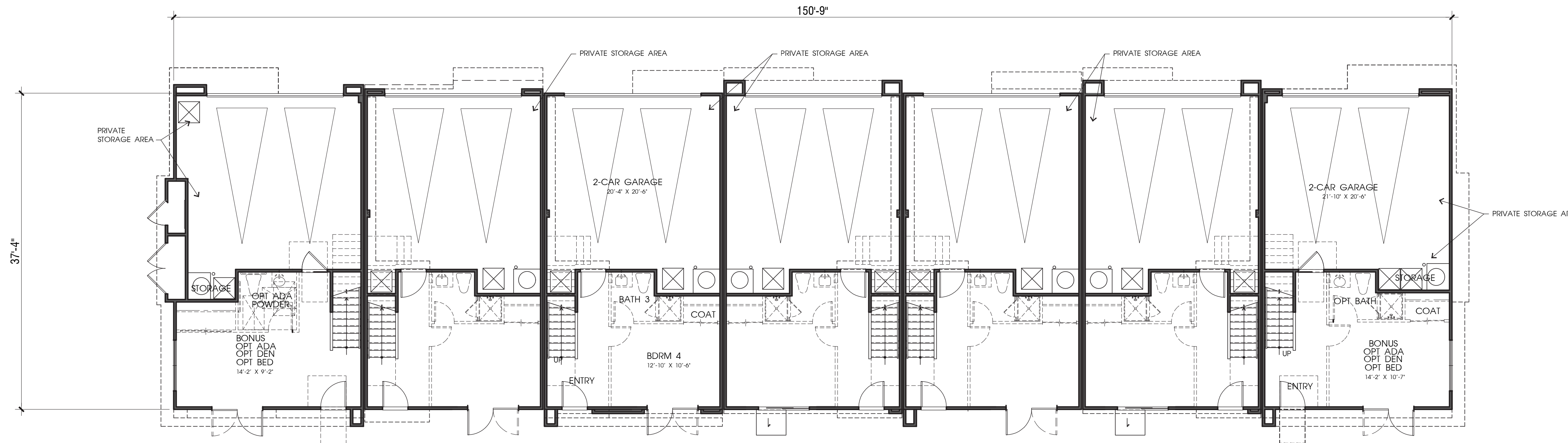
PLAN 1C

PLAN 1B

PLAN 1C

PLAN 3A

SECOND FLOOR



PLAN 3AX (ADA Unit)
1,953 SF
3 Bdrm/2.5+ Opt. .5 Ba
Opt. ADA/Den/Bdrm. 4
2 Car Garage
440 Cu. ft. storage

PLAN 1A
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

PLAN 1D
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

PLAN 1C
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

PLAN 1B
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

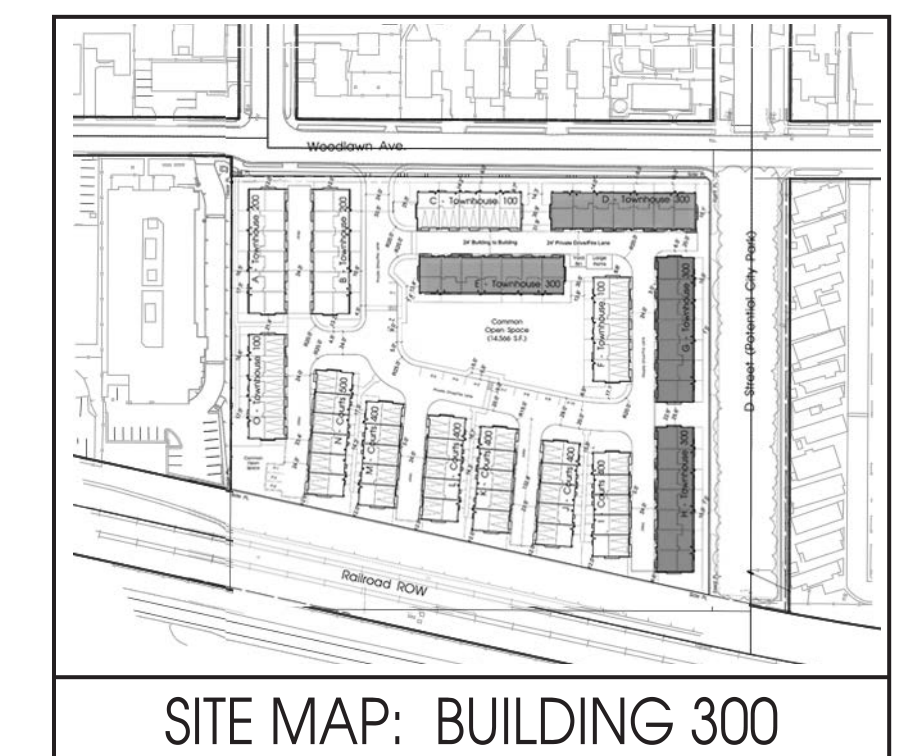
PLAN 1C
1,790 SF
3 Bdrm/2.5 Ba
Opt. Bdrm. 4/Ba 3
2 Car Garage
312 Cu. ft. storage

PLAN 3A
1,953 SF
3 Bdrm/2.5+ Opt. .5 Ba
Opt. ADA/Den/Bdrm. 4
2 Car Garage
528 Cu. ft. storage

FIRST FLOOR

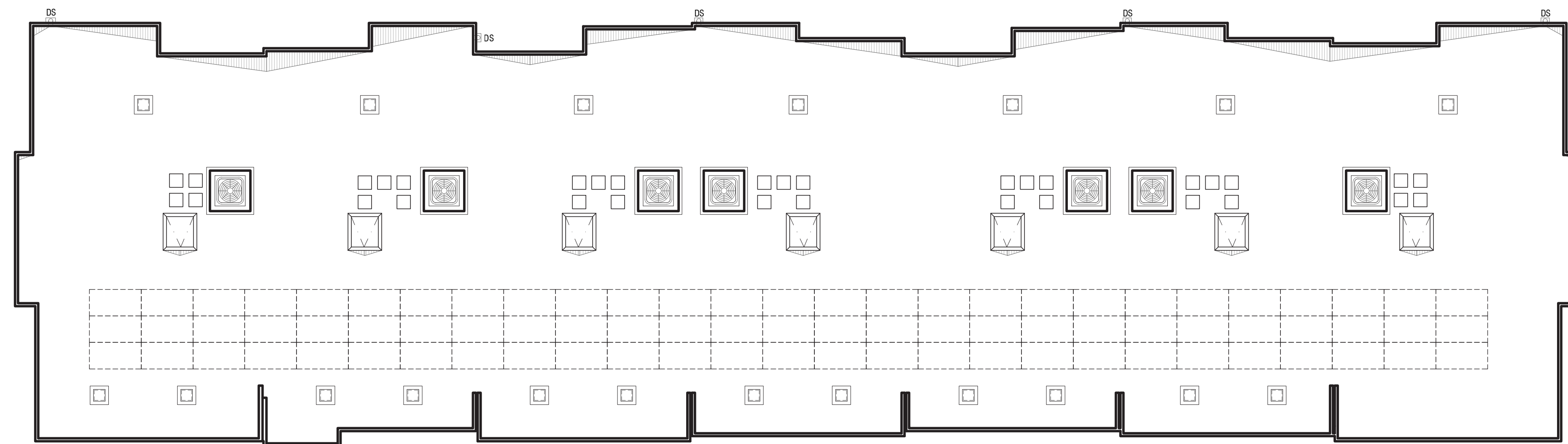
TOWNHOUSE: BUILDING 300 (SEVEN-PLEX)

TOTAL BUILDING AREA: 16,345 SF
OCCUPANCY: R3/U
SPRINKLER SYSTEM: 13D
CONSTRUCTION: VB

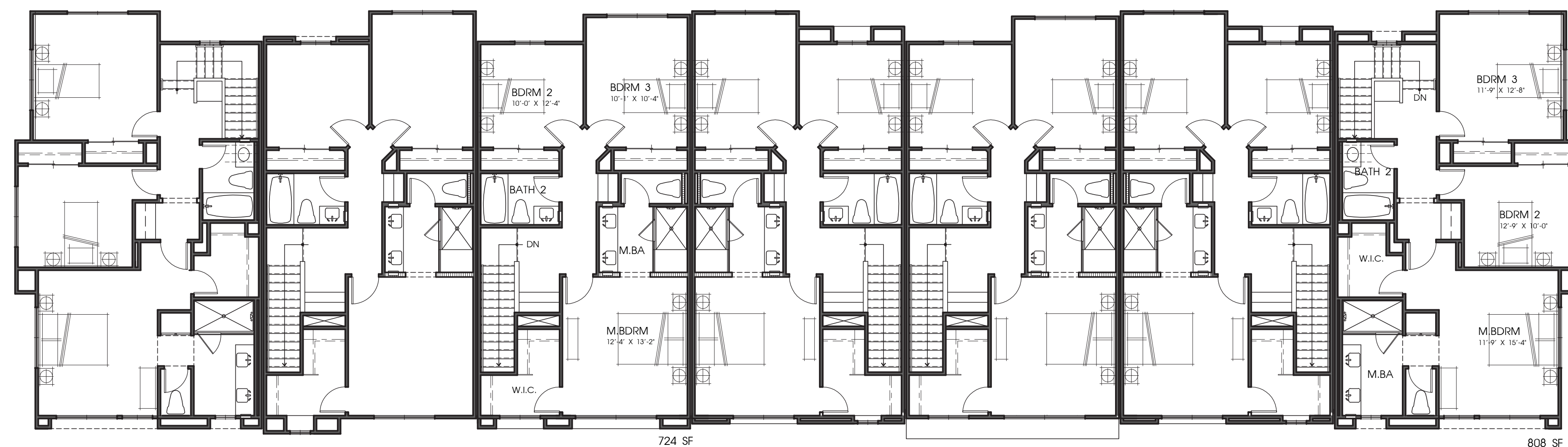


SITE MAP: BUILDING 300

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ROOF PLAN

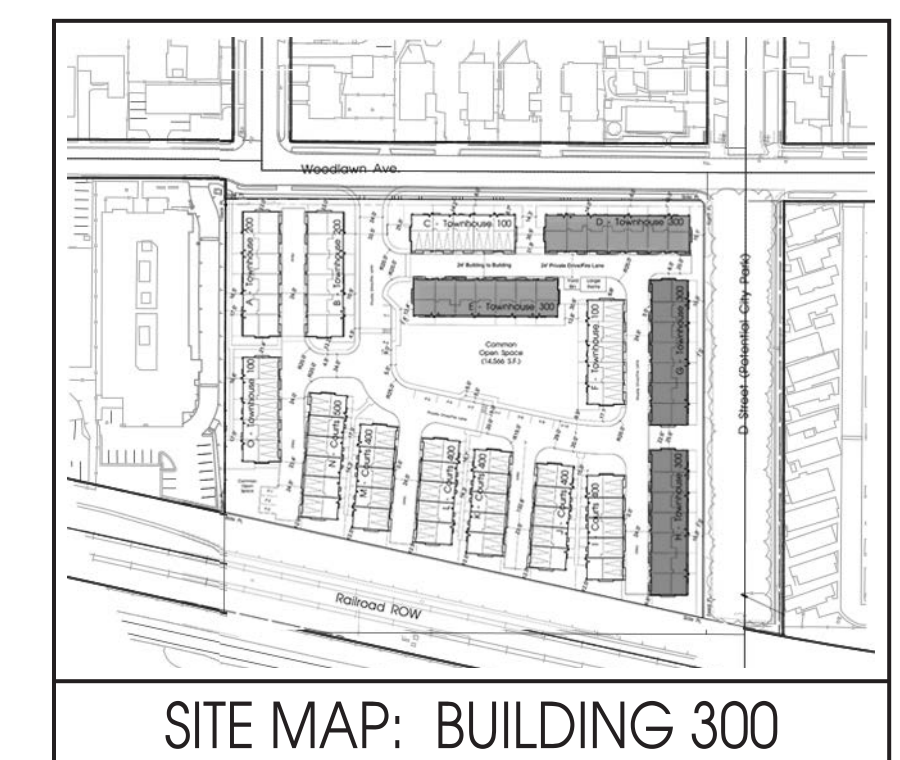


PLAN 3AX (ADA unit) PLAN 1A PLAN 1D PLAN 1C PLAN 1B PLAN 1C PLAN 3A

THIRD FLOOR

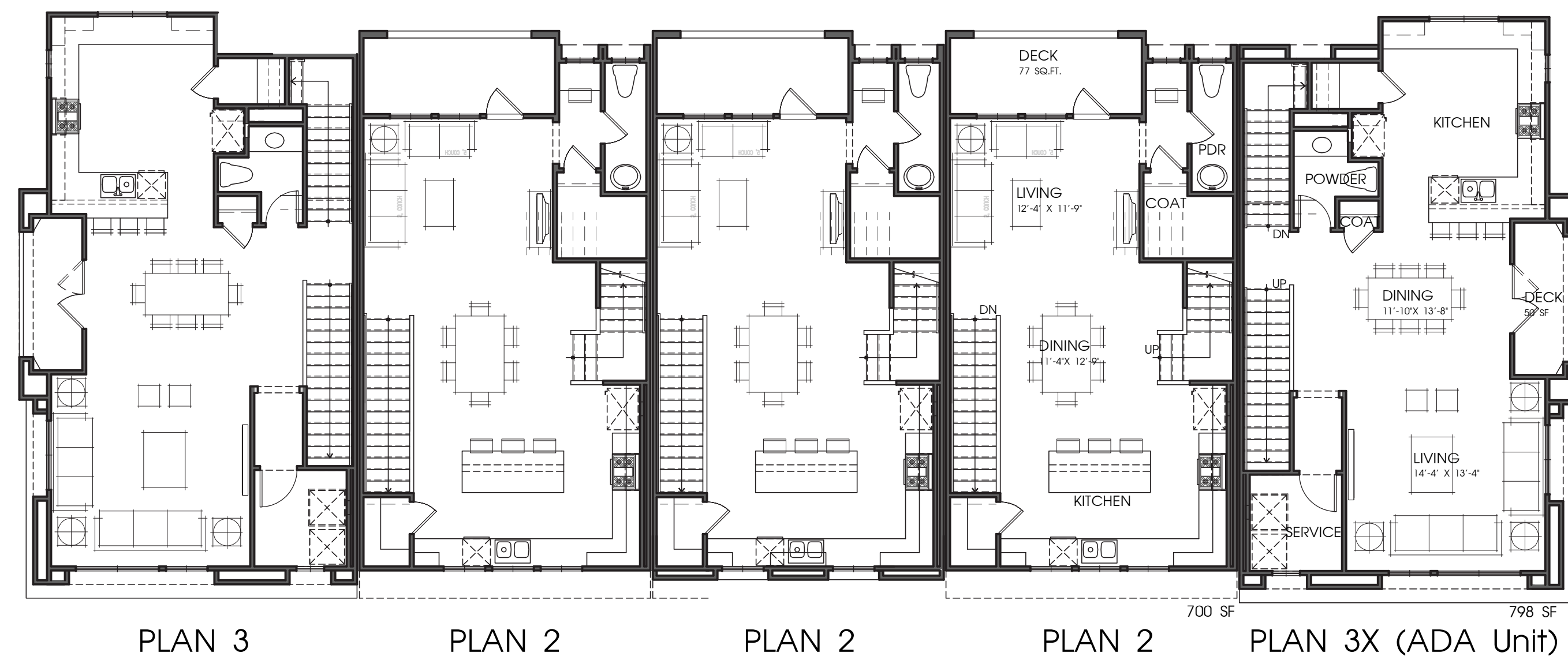
TOWNHOUSE: BUILDING 300 (SEVEN-PLEX)

TOTAL BUILDING AREA: 16,345 SF
 OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
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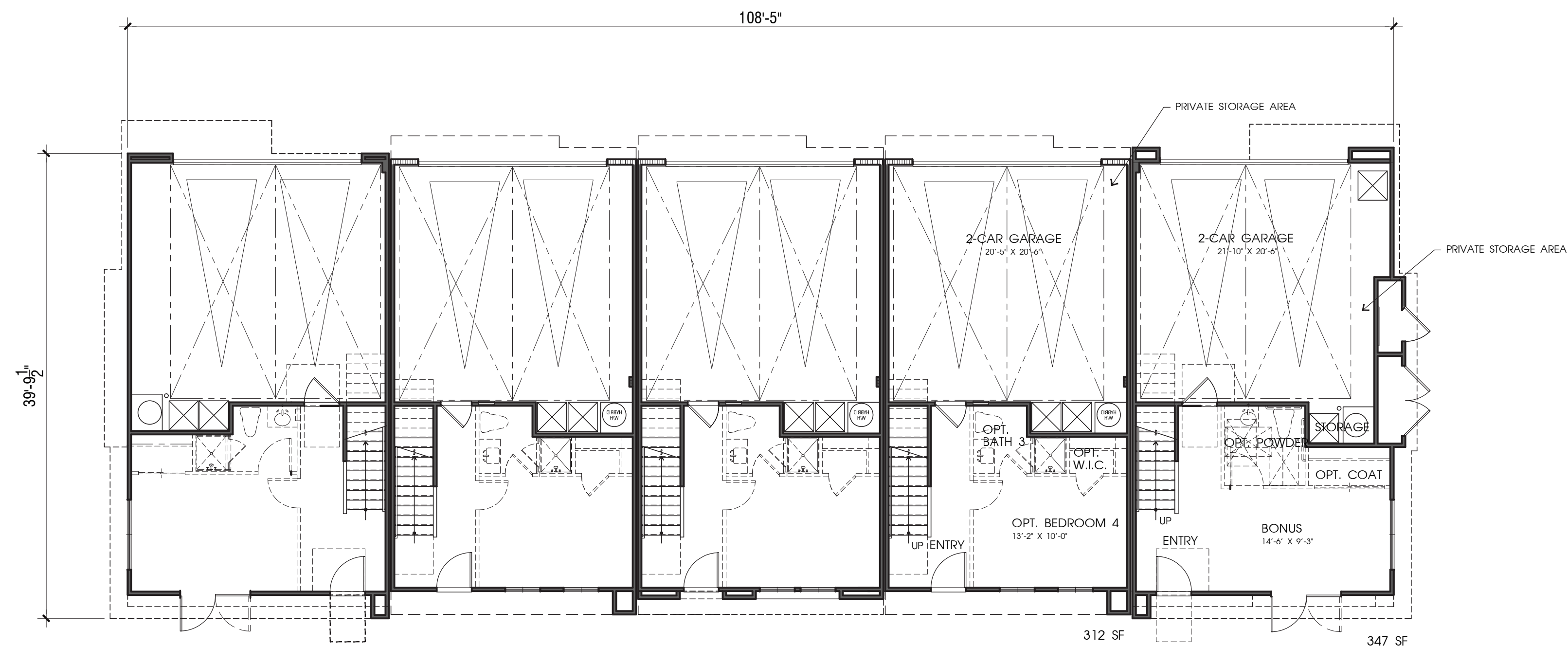


SITE MAP: BUILDING 300

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SECOND FLOOR

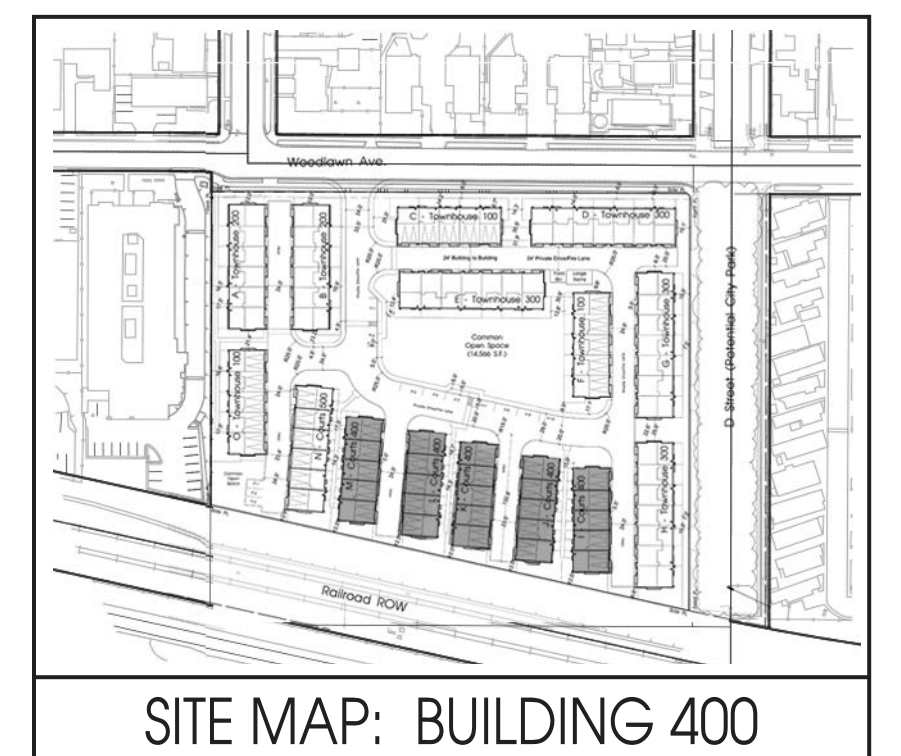


<p>PLAN 3 1,953 SF 3 Bdrm/2.5+ Opt. .5 Ba Opt. ADA/Den/Bdrm. 4 2 Car Garage 528 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 3X (ADA Unit) 1,953 SF 3 Bdrm/2.5+ Opt. .5 Ba Opt. ADA/Den/Bdrm. 4 2 Car Garage 440 Cu. ft. storage</p>
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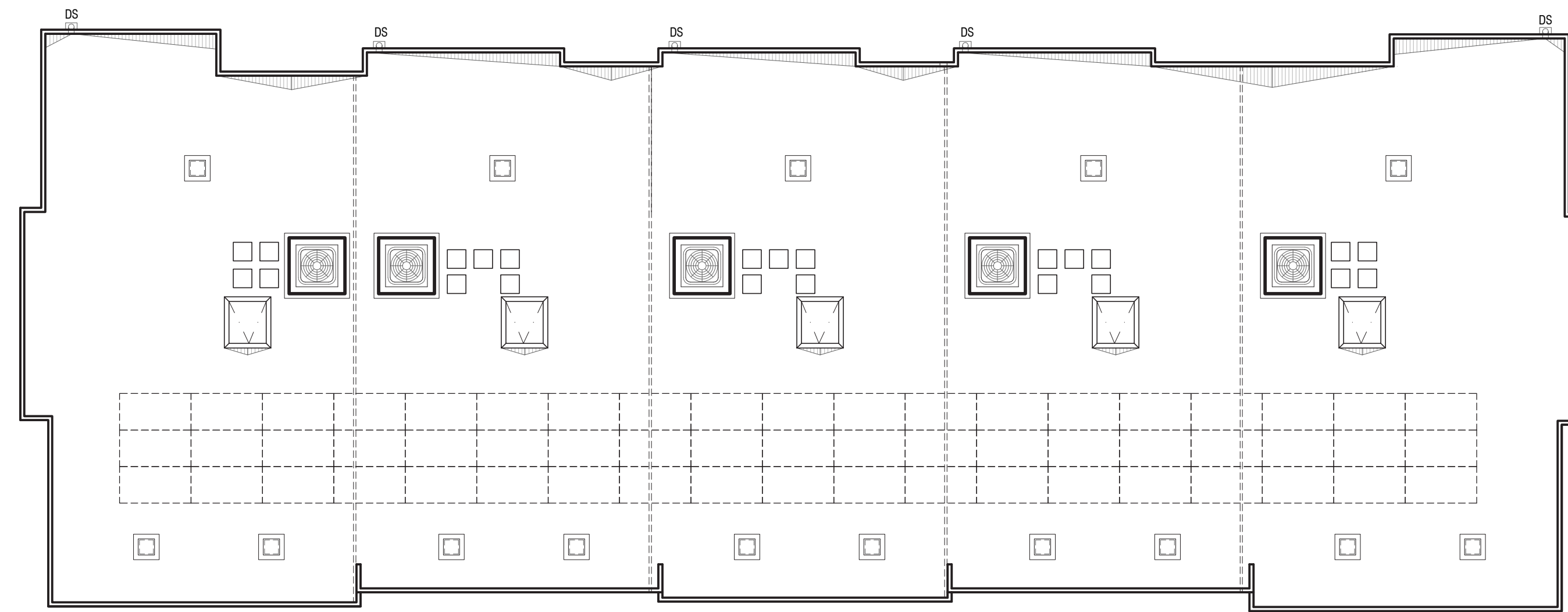
FIRST FLOOR

COURTS: BUILDING 400 (FIVE-PLEX)

TOTAL BUILDING AREA: 11,872 SF
OCCUPANCY: R3/U
SPRINKLER SYSTEM: 13D
CONSTRUCTION: VB

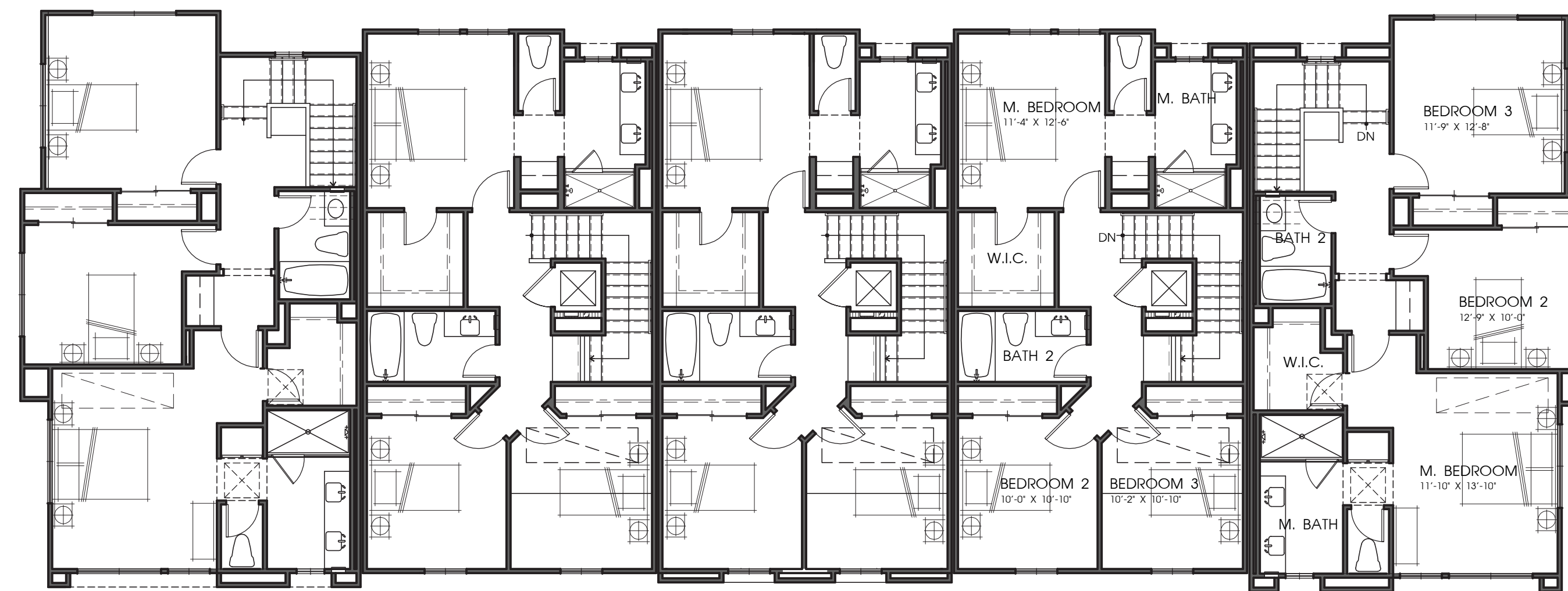


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PLAN 3 PLAN 2 PLAN 2 PLAN 2 PLAN 3X (ADA Unit)

ROOF PLAN

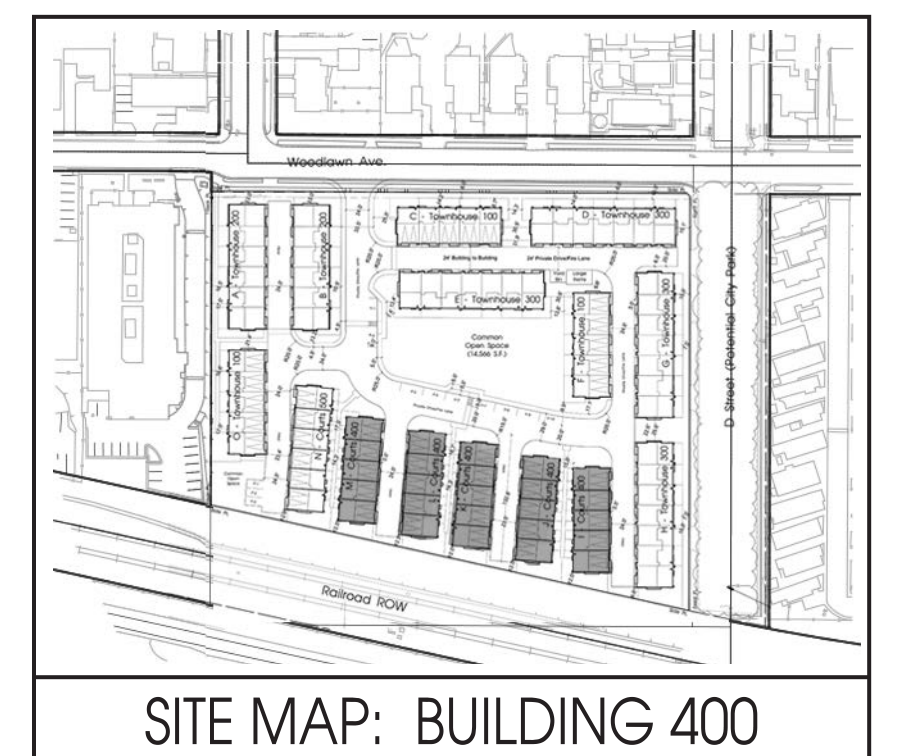


PLAN 3 PLAN 2 PLAN 2 PLAN 2 PLAN 3X (ADA Unit)

THIRD FLOOR

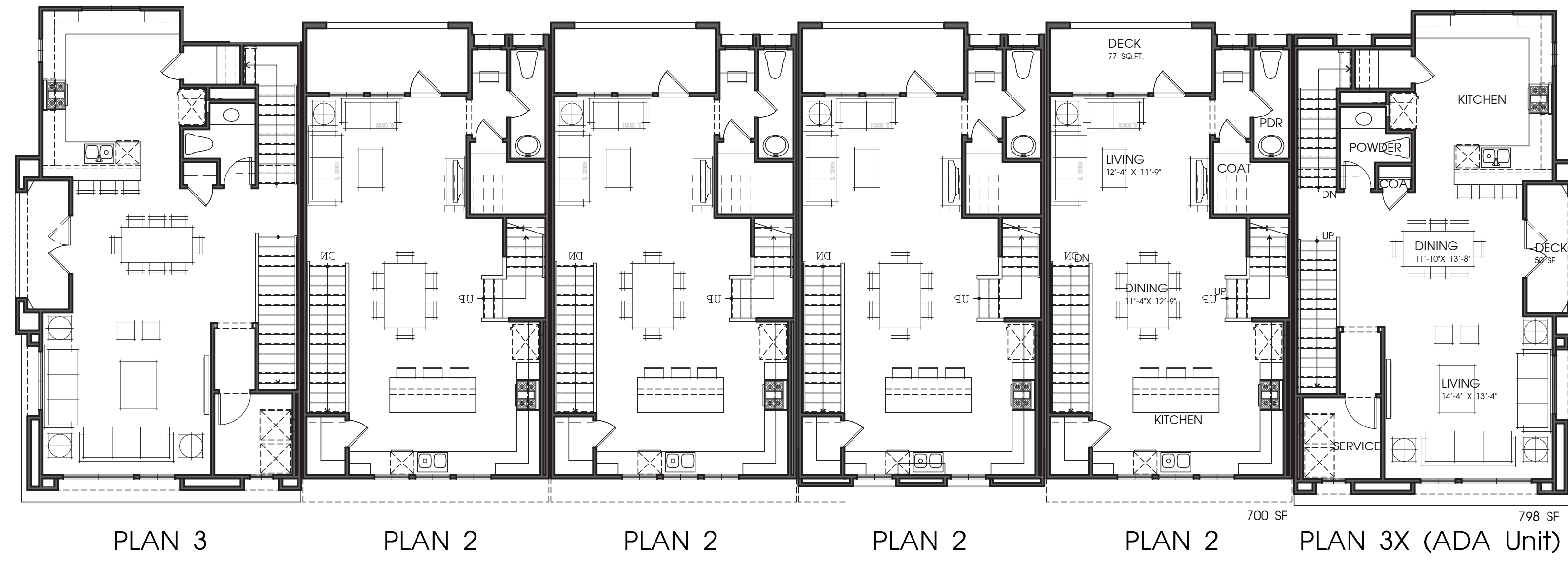
COURTS: BUILDING 400 (FIVE-PLEX)

TOTAL BUILDING AREA: 11,872 SF
 OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
 CONSTRUCTION: VB

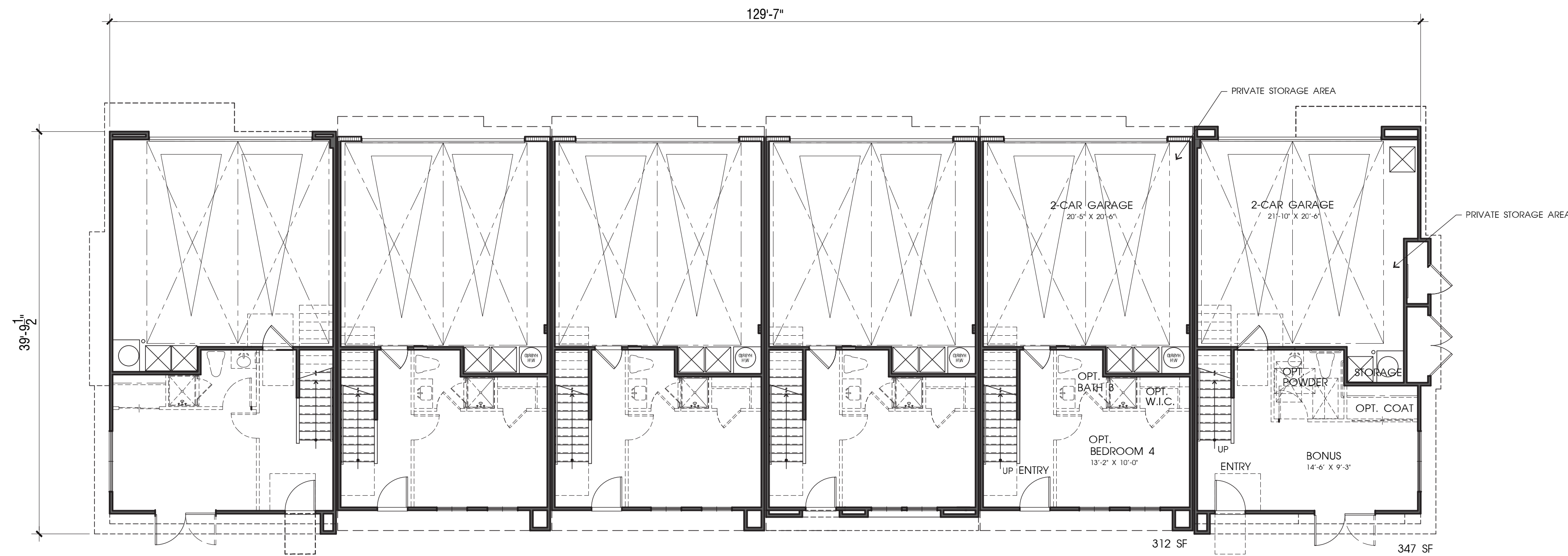


SITE MAP: BUILDING 400

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SECOND FLOOR

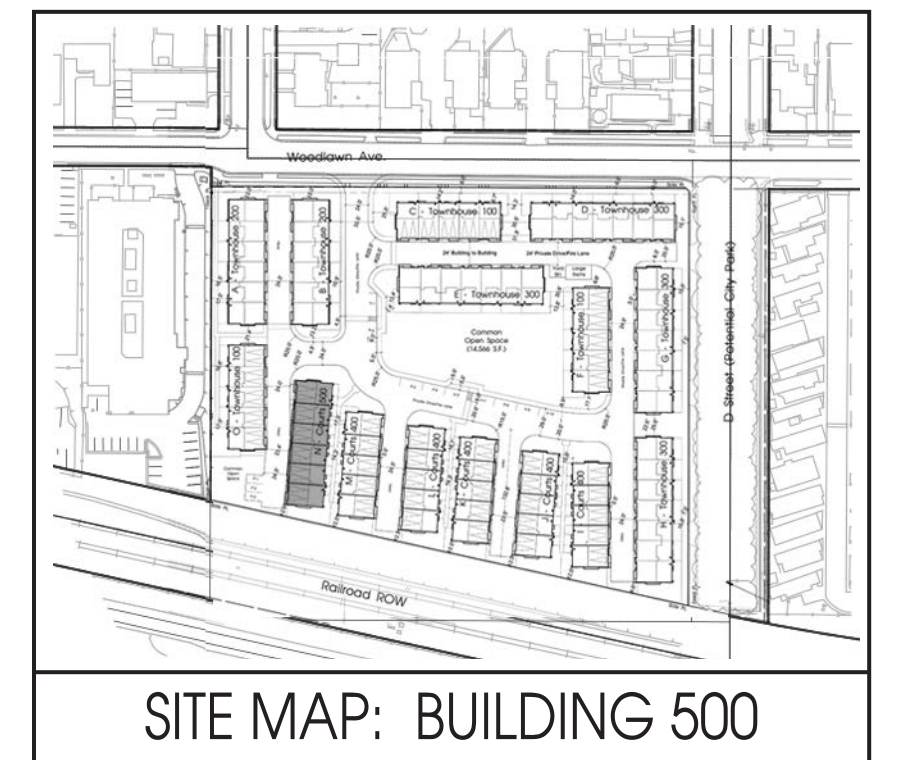


<p>PLAN 3 1,953 SF 3 Bdrm/2.5+ Opt. .5 Ba Opt. ADA/Den/Bdrm. 4 2 Car Garage 528 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 2 1,714 SF 4 Bdrm/3.5 Ba 2 Car Garage 320 Cu. ft. storage</p>	<p>PLAN 3X (ADA Unit) 1,953 SF 3 Bdrm/2.5+ Opt. .5 Ba Opt. ADA/Den/Bdrm. 4 2 Car Garage 440 Cu. ft. storage</p>
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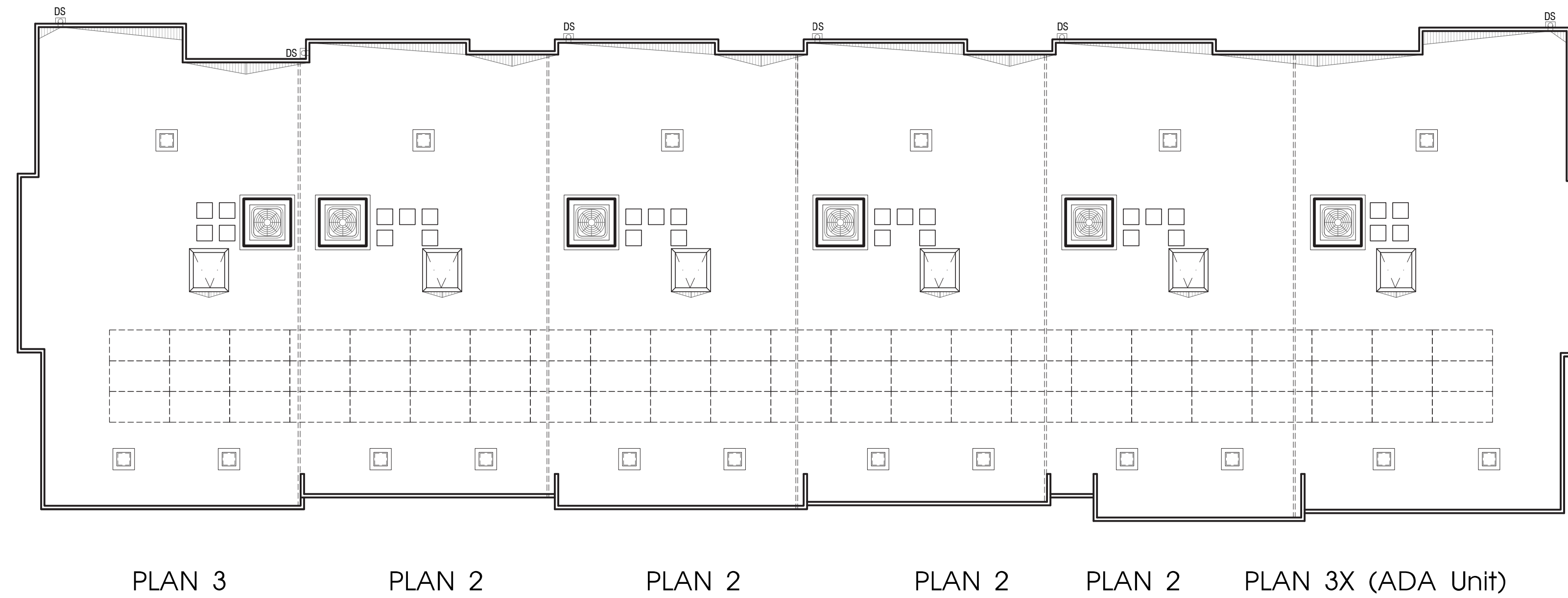
FIRST FLOOR

COURTS: BUILDING 500 (SIX-PLEX)

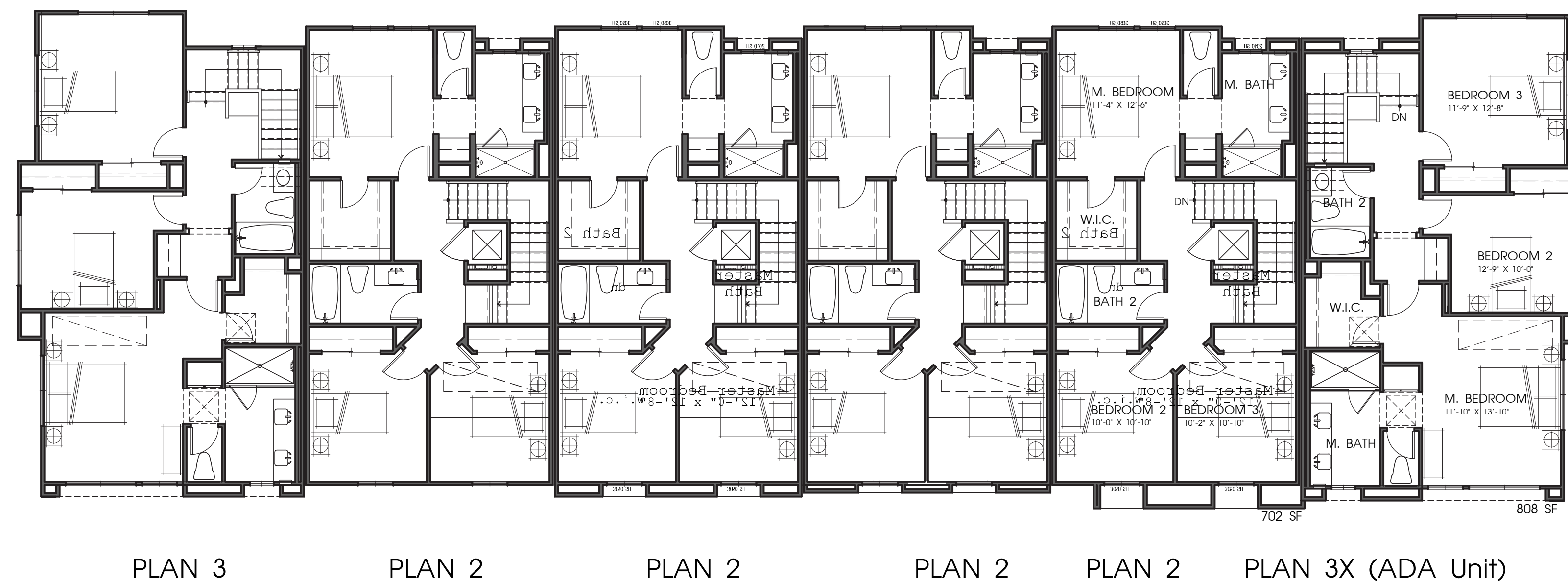
TOTAL BUILDING AREA: 14,180 SF
 OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
 CONSTRUCTION: VB



SITE MAP: BUILDING 500



ROOF PLAN



THIRD FLOOR

COURTS: BUILDING 500 (SIX-PLEX)

TOTAL BUILDING AREA: 14,180 SF
 OCCUPANCY: R3/U
 SPRINKLER SYSTEM: 13D
 CONSTRUCTION: VB



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- 1
- 2
- 3
- 10
- 7
- 6
- 8

- 9'-1"
- 1'-2" MAX
- 9'-1"
- 1'-2"
- 9'-1"
- 38'-0" MAX

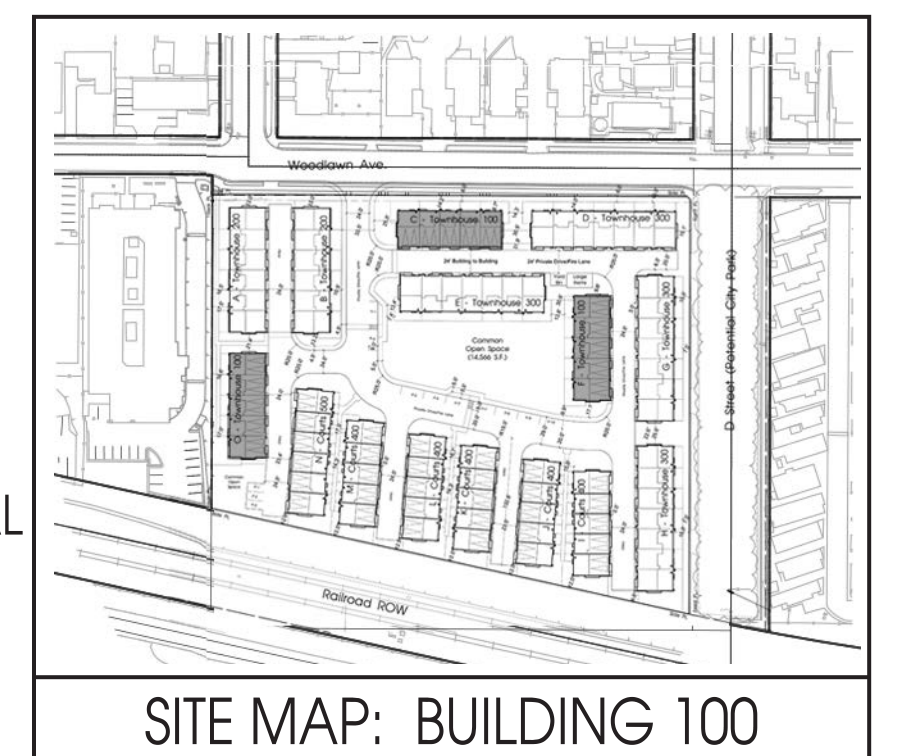
- Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations
- Refer to manufacturer's samples for actual colors; for illustrative purposes only

FRONT ELEVATION

MATERIALS:

- 1 ROOF: FLAT WITH PARAPET
- 2 STUCCO
- 3 VINYL WINDOWS
- 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
- 5 METAL RAILING
- 6 ENTRY DOOR

- 7 ILLUMINATED ADDRESS PANEL
- 8 PATIO WALLS *
- 9 UTILITY CABINET
- 10 DECORATIVE LIGHT FIXTURE
- 11 CABLE TRELLIS AT GARAGE
- A ARCHITECTURAL FEATURES CONSISTENT WITH CITY MUNICIPAL CODE SECTION 19.16.060.1, PROJECTING 6 INCHES INTO REQUIRED REAR YARD SETBACK



SITE MAP: BUILDING 100

TOWNHOUSE: BUILDING 100 (FIVE-PLEX)



REAR ELEVATION

- MATERIALS:**
- 1 ROOF: FLAT WITH PARAPET
 - 2 STUCCO
 - 3 VINYL WINDOWS
 - 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
 - 5 METAL RAILING
 - 6 ENTRY DOOR
 - 7 ILLUMINATED ADDRESS PANEL
 - 8 PATIO WALLS *
 - 9 UTILITY CABINET
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 - 11 CABLE TRELLIS AT GARAGE

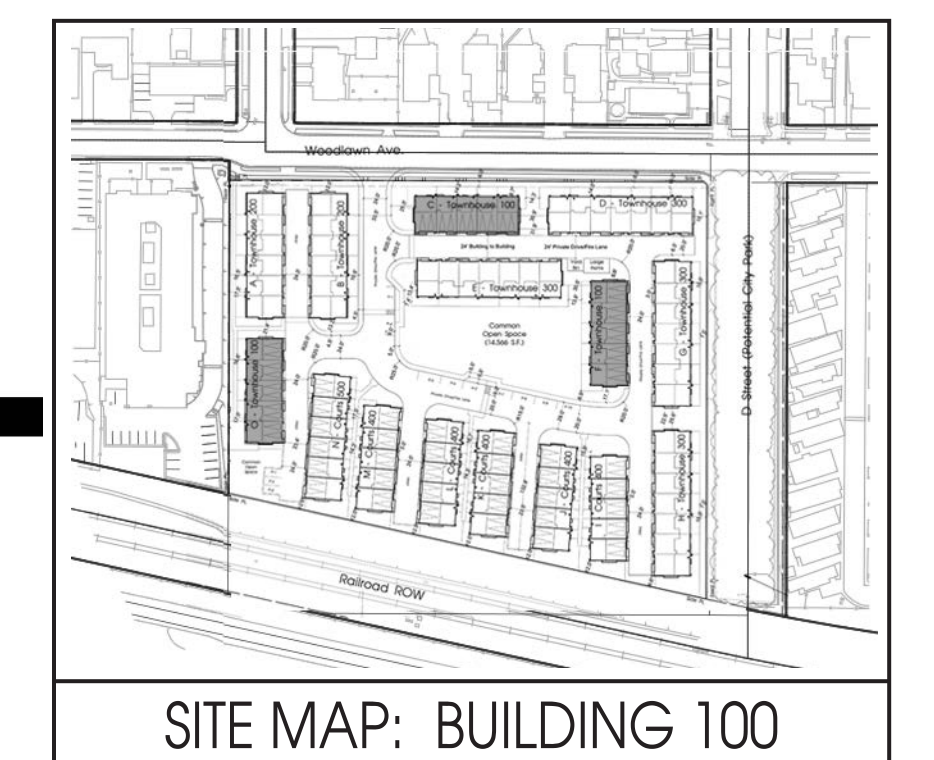


LEFT ELEVATION



RIGHT ELEVATION

TOWNHOUSE: BUILDING 100 (FIVE-PLEX)
EXTERIOR ELEVATIONS



SITE MAP: BUILDING 100

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/Orientation

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- 1
- 2
- 3
- 10
- 7
- 6
- 8

- Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations
- Refer to manufacturer's samples for actual colors; for illustrative purposes only

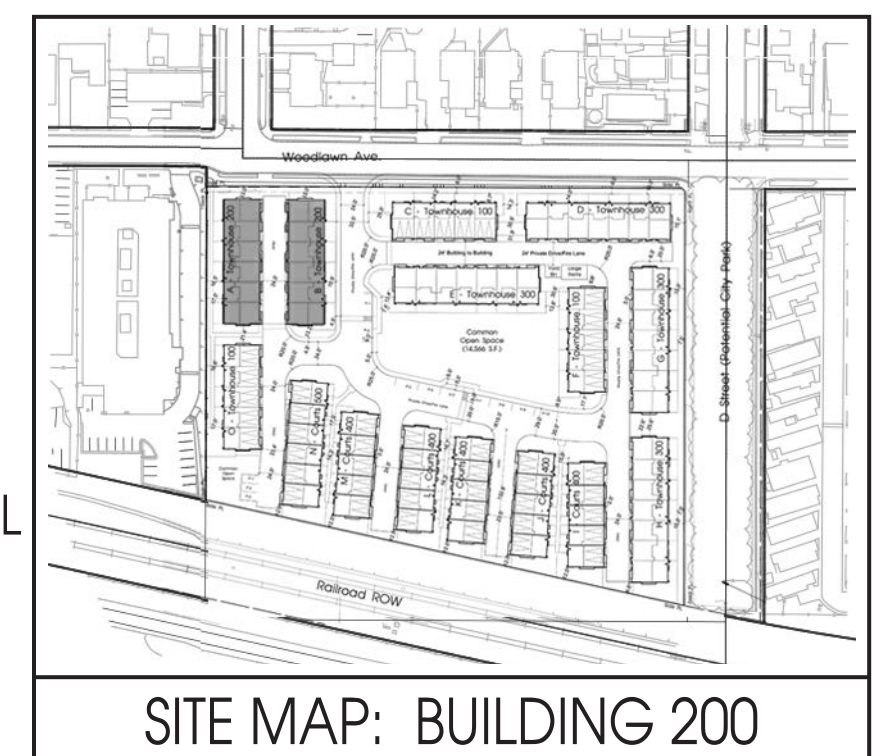
FRONT ELEVATION

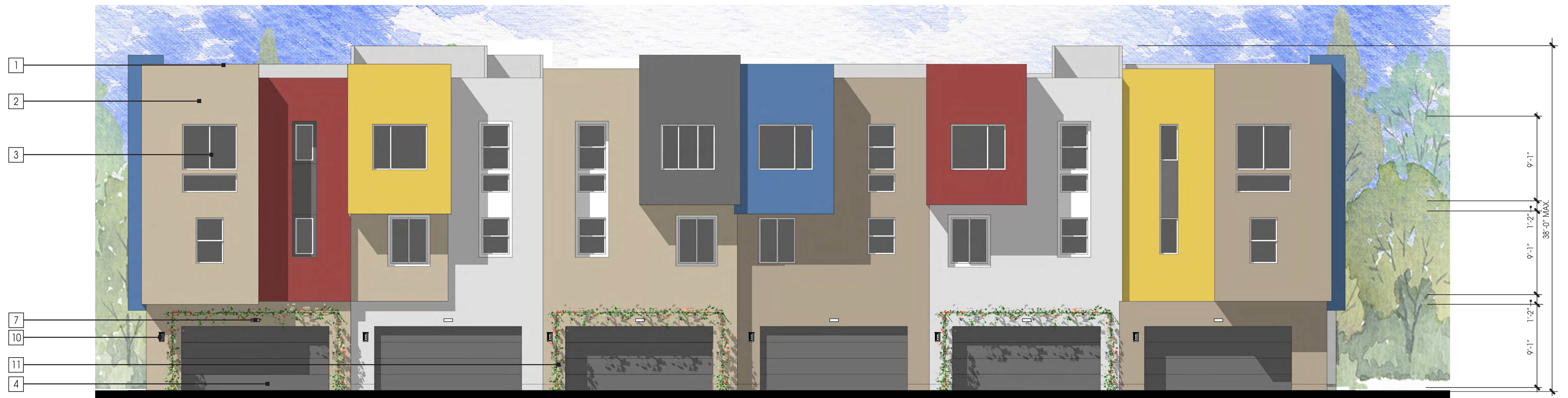
TOWNHOUSE: BUILDING 200 (SIX-PLEX)

MATERIALS:

- 1 ROOF: FLAT WITH PARAPET
- 2 STUCCO
- 3 VINYL WINDOWS
- 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
- 5 METAL RAILING
- 6 ENTRY DOOR

- 7 ILLUMINATED ADDRESS PANEL
- 8 PATIO WALLS *
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- A ARCHITECTURAL FEATURES CONSISTENT WITH CITY MUNICIPAL CODE SECTION 19.16.060.1, PROJECTING 6 INCHES INTO REQUIRED REAR YARD SETBACK





• Refer to manufacturer's samples for actual colors; for illustrative purposes only

REAR ELEVATION

- MATERIALS:**
- 1 ROOF: FLAT WITH PARAPET
 - 2 STUCCO
 - 3 VINYL WINDOWS
 - 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
 - 5 METAL RAILING
 - 6 ENTRY DOOR
 - 7 ILLUMINATED ADDRESS PANEL
 - 8 PATIO WALLS *
 - 9 UTILITY CABINET
 - 10 DECORATIVE LIGHT FIXTURE
 - 11 CABLE TRELLIS AT GARAGE



LEFT ELEVATION

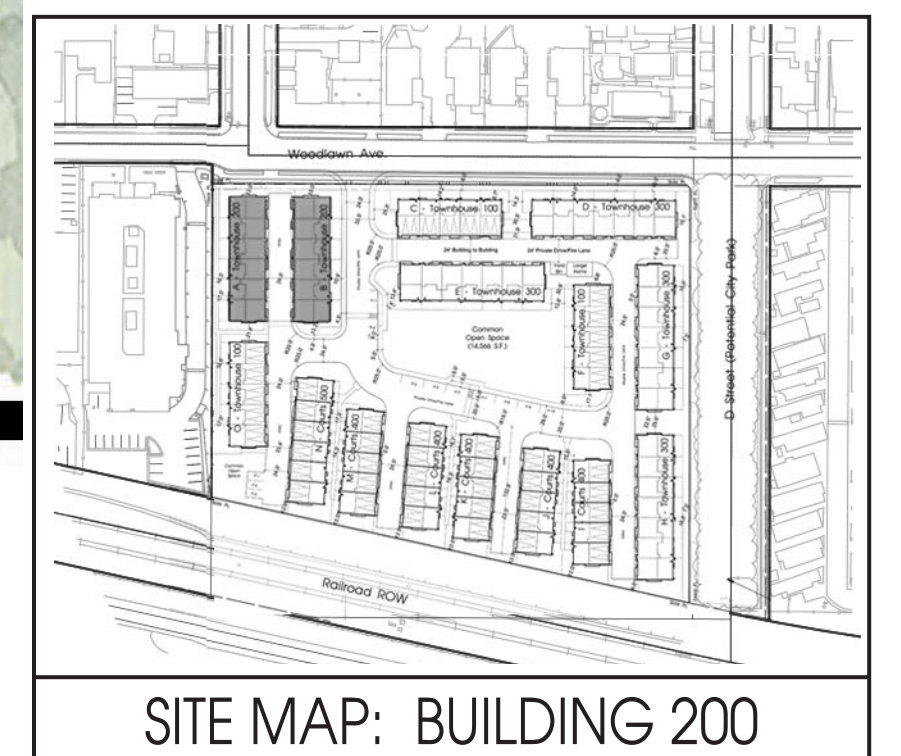


RIGHT ELEVATION

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/Orientation

TOWNHOUSE: BUILDING 200 (SIX-PLEX)
EXTERIOR ELEVATIONS



SITE MAP: BUILDING 200

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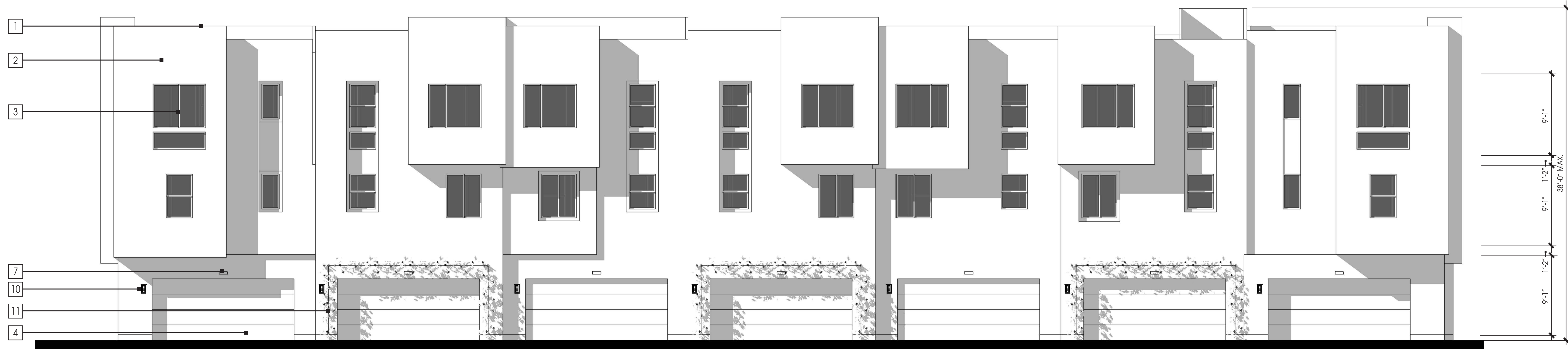
FRONT ELEVATION

MATERIALS:

- | | | | |
|---|--------------------------------------|----|---------------------------|
| 1 | ROOF: FLAT WITH PARAPET | 7 | ILLUMINATED ADDRESS PANEL |
| 2 | STUCCO | 8 | PATIO WALLS * |
| 3 | VINYL WINDOWS | 9 | UTILITY CABINET |
| 4 | GARAGE DOOR: METAL SECTIONAL ROLL-UP | 10 | DECORATIVE LIGHT FIXTURE |
| 5 | METAL RAILING | 11 | CABLE TRELLIS AT GARAGE |
| 6 | ENTRY DOOR | | |

TOWNHOUSE: BUILDING 300 (SEVEN-PLEX)





REAR ELEVATION

- MATERIALS:**
- 1 ROOF: FLAT WITH PARAPET
 - 2 STUCCO
 - 3 VINYL WINDOWS
 - 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
 - 5 METAL RAILING
 - 6 ENTRY DOOR
 - 7 ILLUMINATED ADDRESS PANEL
 - 8 PATIO WALLS *
 - 9 UTILITY CABINET
 - 10 DECORATIVE LIGHT FIXTURE
 - 11 CABLE TRELLIS AT GARAGE



LEFT ELEVATION

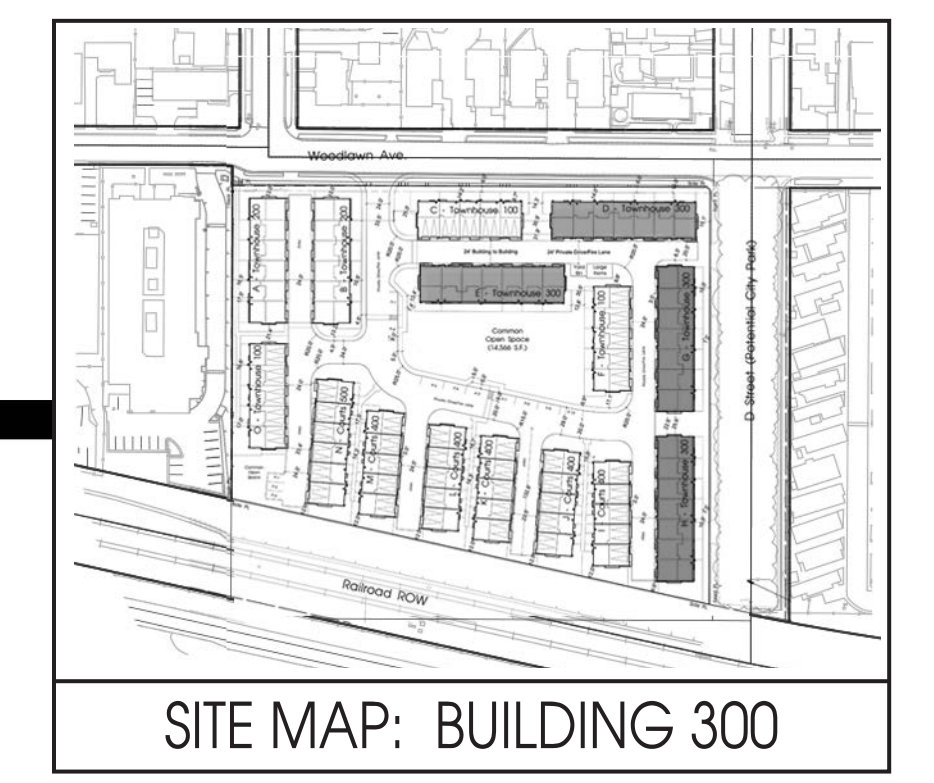


RIGHT ELEVATION

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/Orientation

TOWNHOUSE: BUILDING 300 (SEVEN-PLEX)
EXTERIOR ELEVATIONS



SITE MAP: BUILDING 300

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- Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations
- Refer to manufacturer's samples for actual colors; for illustrative purposes only

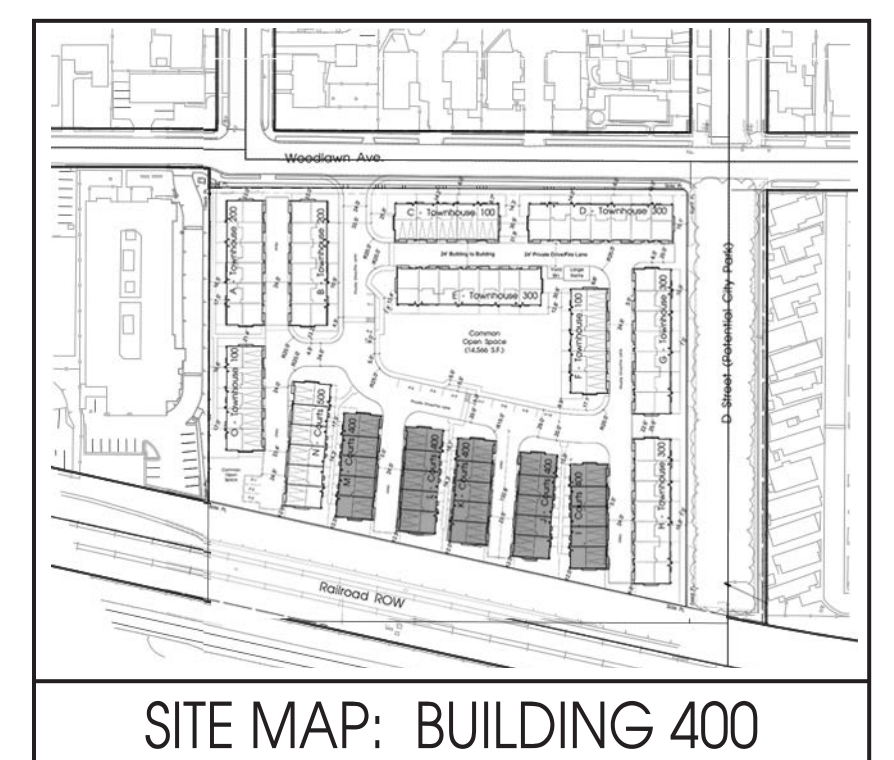
VIEW FROM PRIVATE STREET
FRONT ELEVATION

MATERIALS:

- 1 ROOF: FLAT WITH PARAPET
- 2 STUCCO
- 3 VINYL WINDOWS
- 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
- 5 METAL RAILING
- 6 ENTRY DOOR

- 7 ILLUMINATED ADDRESS PANEL
- 8 PATIO WALLS *
- 9 UTILITY CABINET
- 10 DECORATIVE LIGHT FIXTURE
- 11 CABLE TRELLIS AT GARAGE

COURTS: BUILDING 400 (FIVE-PLEX)





• Refer to manufacturer's samples for actual colors; for illustrative purposes only

REAR ELEVATION

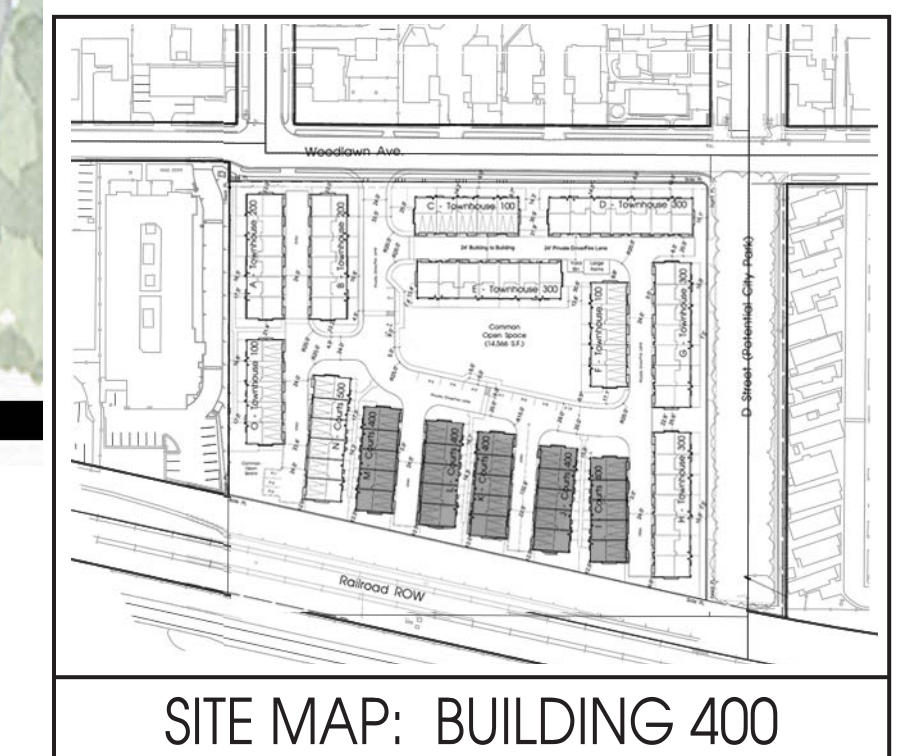


LEFT ELEVATION



RIGHT ELEVATION

COURTS: BUILDING 400 (FIVE-PLEX)
EXTERIOR ELEVATIONS



SITE MAP: BUILDING 400

MATERIALS:

- 1 ROOF: FLAT WITH PARAPET
- 2 STUCCO
- 3 VINYL WINDOWS
- 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
- 5 METAL RAILING
- 6 ENTRY DOOR
- 7 ILLUMINATED ADDRESS PANEL
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Note:

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- Refer to Site Plan for Specific Locations/Orientation

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- Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations
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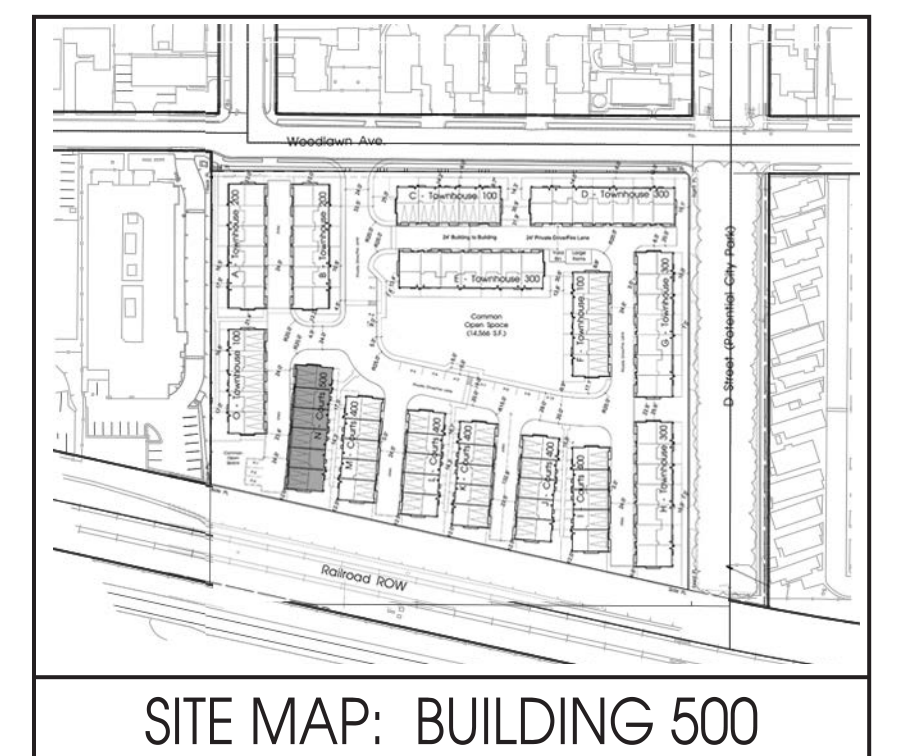
VIEW FROM PRIVATE STREET
FRONT ELEVATION

MATERIALS:

- 1 ROOF: FLAT WITH PARAPET
- 2 STUCCO
- 3 VINYL WINDOWS
- 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
- 5 METAL RAILING
- 6 ENTRY DOOR

- 7 ILLUMINATED ADDRESS PANEL
- 8 PATIO WALLS *
- 9 UTILITY CABINET
- 10 DECORATIVE LIGHT FIXTURE
- 11 CABLE TRELLIS AT GARAGE

COURTS: BUILDING 500 (SIX-PLEX)





REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

MATERIALS:

- 1 ROOF: FLAT WITH PARAPET
- 2 STUCCO
- 3 VINYL WINDOWS
- 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
- 5 METAL RAILING
- 6 ENTRY DOOR
- 7 ILLUMINATED ADDRESS PANEL
- 8 PATIO WALLS *
- 9 UTILITY CABINET
- 10 DECORATIVE LIGHT FIXTURE
- 11 CABLE TRELLIS AT GARAGE

Note:

- Direction of Elevation Varies
- Refer to Site Plan for Specific Locations/Orientation

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COURTS: BUILDING 500 (SIX-PLEX)
EXTERIOR ELEVATIONS



SITE MAP: BUILDING 500



FRONT ELEVATION

- Refer to Landscape Drawings for wall, tree, shrubs and patio wall locations
- Refer to manufacturer's samples for actual colors; for illustrative purposes only

- MATERIALS:**
- 1 ROOF: FLAT WITH PARAPET
 - 2 STUCCO
 - 3 VINYL WINDOWS
 - 4 GARAGE DOOR: METAL SECTIONAL ROLL-UP
 - 5 METAL RAILING
 - 6 ENTRY DOOR

- 7 ILLUMINATED ADDRESS PANEL
- 8 PATIO WALLS *
- 9 UTILITY CABINET
- 10 DECORATIVE LIGHT FIXTURE
- 11 CABLE TRELLIS AT GARAGE
- A ARCHITECTURAL FEATURES CONSISTENT WITH CITY MUNICIPAL CODE SECTION 19.16.060.1, PROJECTING 6 INCHES INTO REQUIRED REAR YARD SETBACK



TOWNHOUSE: BUILDING 200 (SIX-PLEX)

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STUCCO #3



STUCCO #2



STUCCO #1



STUCCO #4



DECORATIVE LIGHT FIXTURES



VINYL WINDOWS



GARAGE DOORS



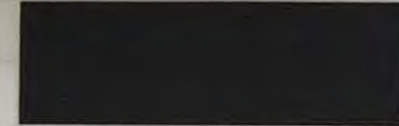
ACCENT #1



ACCENT #2



ACCENT #3



WINDOW AWNINGS



METAL MESH RAILING

EXTERIOR PALETTE

CITY VENTURES

701 D STREET

CHULA VISTA, CA

WILLIAM HEZMALHALOH ARCHITECTS INC. © 2015

11/18/15

2015002

LANDSCAPE CONCEPT STATEMENT:

The overall landscape concept for the Chula Vista project is to provide this new residential community and adjacent existing communities with an attractive walking experience while adding visual interest, social functionality and minimal strain on local resources.

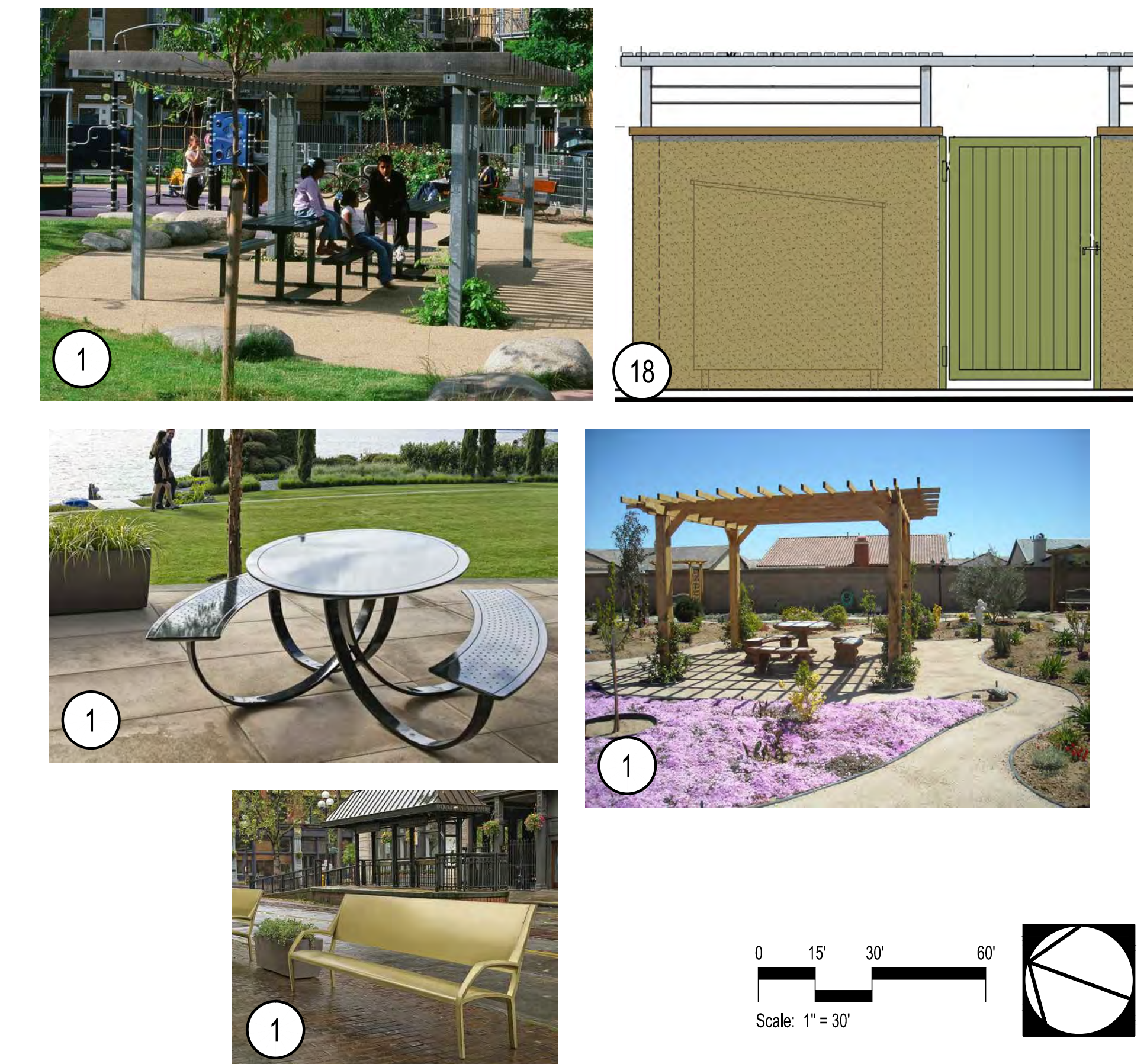
The Design Objective:

A central, five foot wide, pedestrian walkway system will meander through the community connecting it to the public streets - Woodlawn Ave. & D St. - as well as the proposed attractive amenities like the central shade structure & smaller seating nodes. These amenity areas will allow for local residents to walk their dogs, stroll, hold small social gatherings and as well as larger group events and parties.

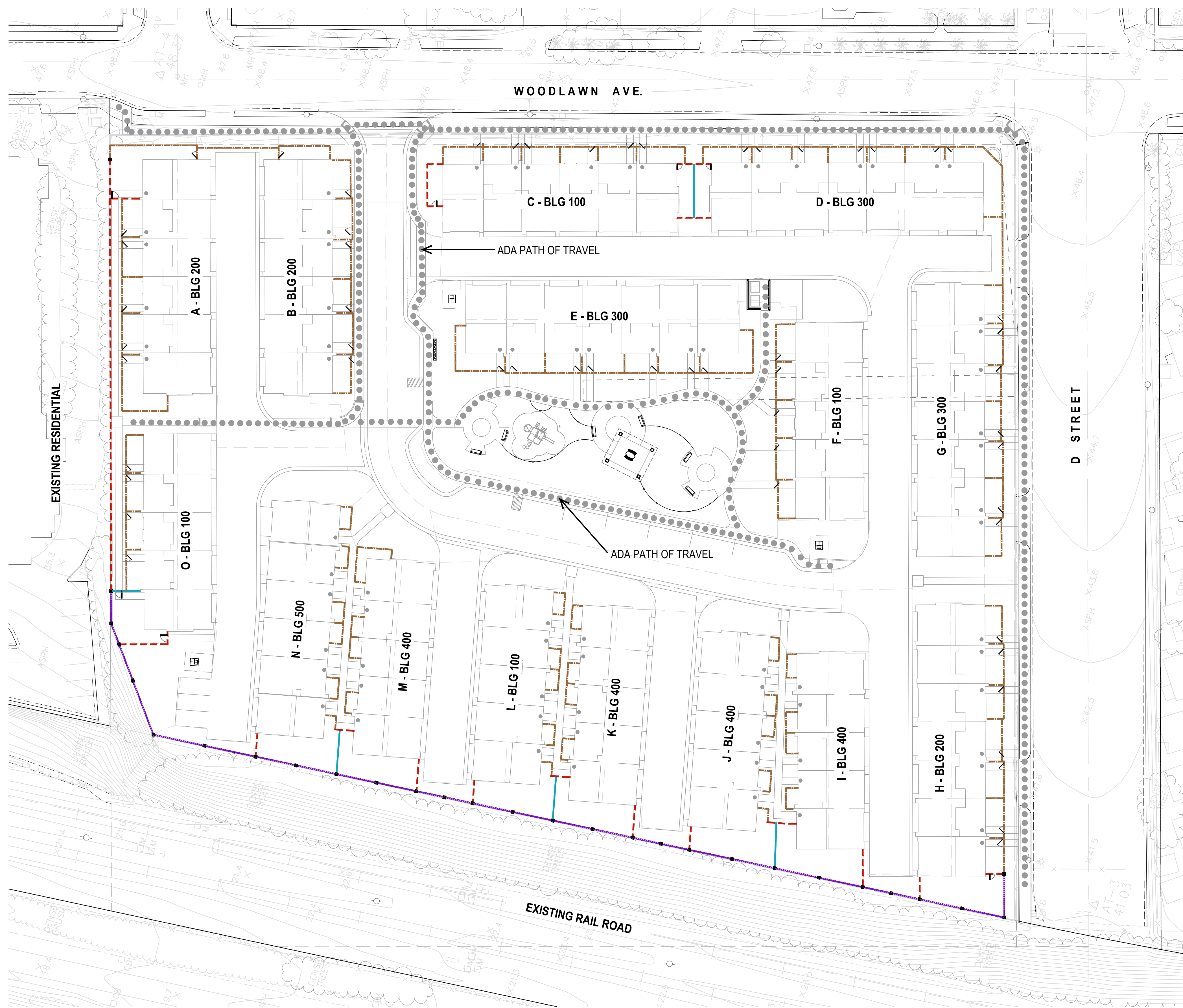
The use of low maintenance and water wise plants will be incorporated and designed to be attractive, using dramatic and unique succulents and grasses in mass groupings with a mix of contrasting DG and groundcovers. The overall landscape will be compliant with the City of Chula Vista's Chapter 20.12 Chula Vista Landscape Water Conservation Ordinance.

LEGEND

1. Community open space area with meandering trail, bench seating and central shade structure with ADA compliant seating for social gatherings and special events.
2. Project entry with colorful succulent planting at corners.
3. Proposed wall, fence and gate, per Wall & Fence Plan.
4. Enhanced paving at vehicular entry, colored concrete with medium top-cast finish and saw-cut joints.
5. Proposed tree, per Planting Plan.
6. 5' Public concrete sidewalk, per Civil and City Standards.
7. Enhanced paving at open space area, colored concrete with light top-cast finish and saw-cut joints.
8. 5' wide community sidewalk, natural color concrete with light broom finish & narrow trowel joints.
9. 4' wide residential unit entry walkways, natural color concrete with light broom finish & narrow tooled joints.
10. Private yard, homeowner maintained & installed.
11. Common area landscape, HOA maintained.
12. Natural color concrete driveway with light broom finish.
13. Guest parking and guest van accessible parking stall.
14. Proposed transformer, final location to be determined by Utility Specialist.
15. Property line.
16. Mailbox CBU boxes (per USPS approval).
17. City R.O.W.
18. Trash enclosure, block with wood trellis overhead.
19. Existing sidewalk to remain
20. ADA Path of Travel
21. Tot Lot
22. Bio-planter.

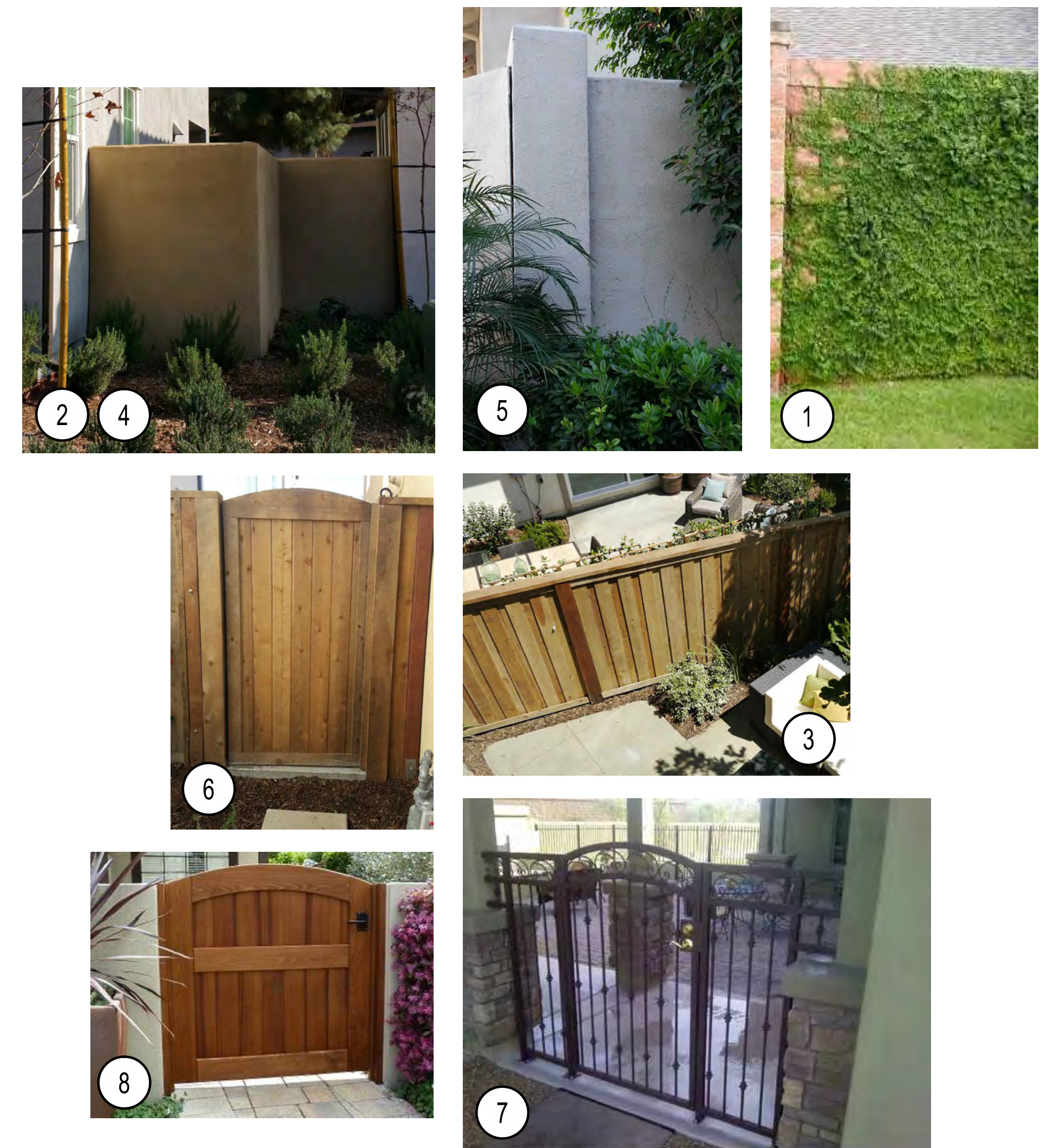


Schematic Landscape Plan

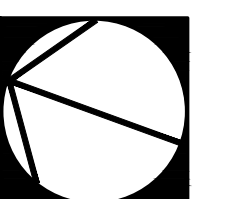
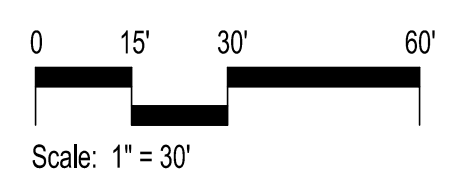


WALL LEGEND

- 1 — 7'-0" High sound precision or split-face block wall, with precision cap.
- 2 — 6'-0" High stucco over block wall, with flat stucco cap.
- 3 — 5'-6" High sideyard wood fence.
- 4 — 3'-6" High stucco over block wall, with flat stucco cap.
- 5 ■ 8'-6" High (at sound wall) & 6'-6" High (18" sq.) stucco pilaster, with flat stucco cap.
- 6 ▽ 5'-6" High sideyard wood gate.
- 7 — 5'-6" High metal pedestrian gate with side metal railing.
- 8 ^ 3'-6" High solid wood patio gate.



Conceptual Wall & Fence Plan



(Rev. Dec. 08, 2015)

City Ventures

4th City Submittal | Project No.: CV49-D
Date: October, 12 2015

L-2

SHRUBS and GROUND COVER

Plant Name	WUCOLS
Aeonium	Low
Anigozanthos	Low
Agapanthus	Low
Agave sp.	Low
Aloe sp.	Low
Bougainvillea sp.	Low
Bougainvillea La Jolla	Low
Buddleja 'Purple Haze'	Low
Buxus m. japonica 'Green Beauty'	Low
Callistemon citrinus 'Little John'	Low
Carex	Low
Carissa m. 'Green Carpet'	Low
Chamaerops humilis	Low
Cordylina australis 'Jel01'	Low
Cordylina 'Pink Passion'	Low
Dasyliiron longissimum	Low
Delosperma cooperi	Low
Dietes bicolor	Low
Dymondia margaretae	Low
Hemerocallis x 'Alabama Jubilee'	Low
Iris sp.	Low
Lavandula stoechas 'Larkman Hazel'	Low
Ligustrum japonicum 'Texanum'	Low
Lonicera sp.	Low
Nassella pulchra	Low
Nassella tenuissima	Low
Muhlenbergia rigens	Low
Pittosporum tenuifolium	Low
Rhaphiolepis indica 'Clara'	Low
Rosa rugosa 'Jacrulav'	Low
Rosmarinus p. 'Huntington Carpet'	Low
Rosmarinus officinalis 'Tuscan Blue'	Low
Strelitzia reginae	Low
Trachelospermum jasminoides	medium
Xylosma congestum 'Compact'	Low

VINES & ESPALIERS

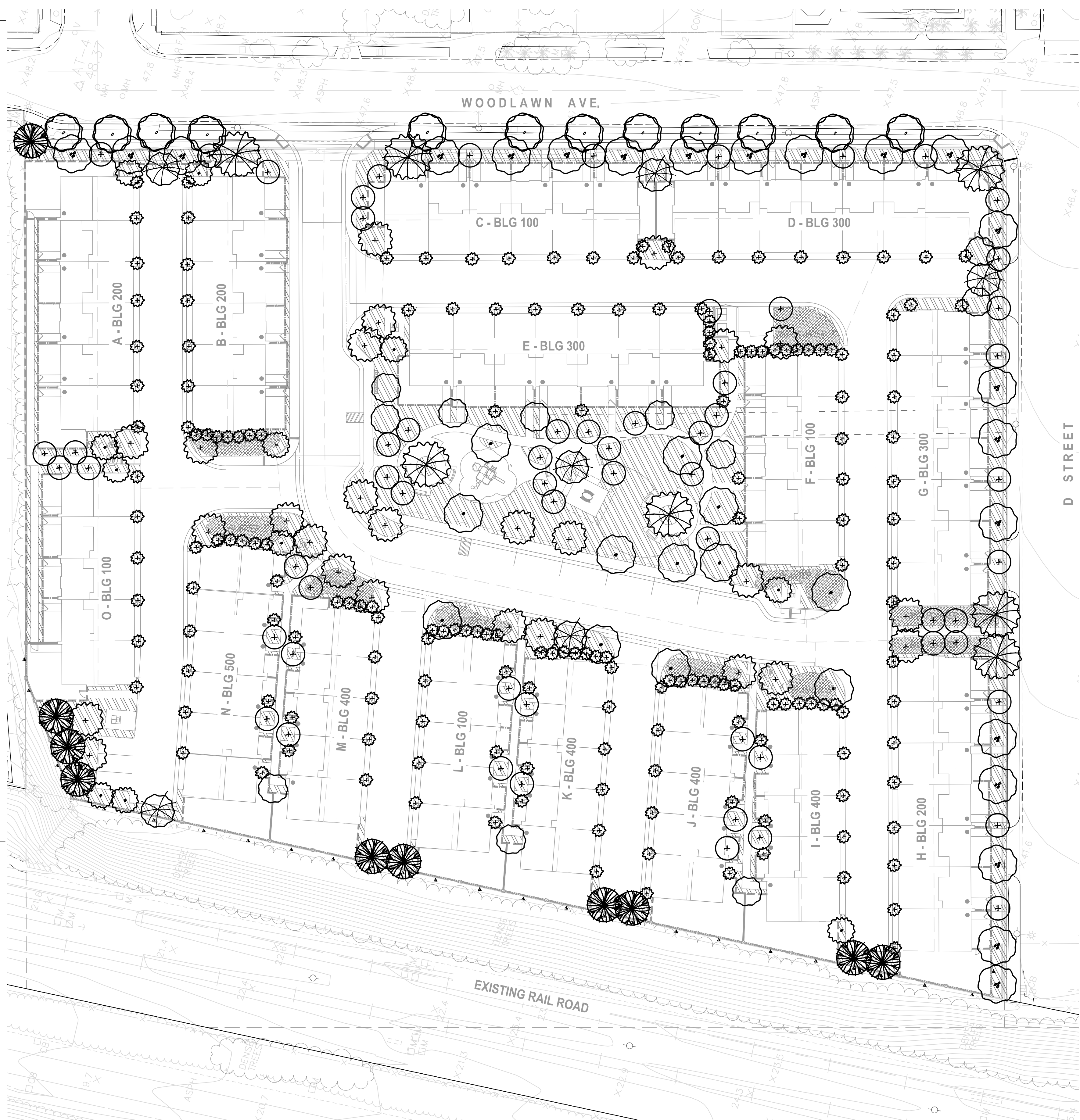
Bougainvillea 'Monka' (Oo-La-La® Bougainvillea)	Low
Pandorea jasminoides 'Lady Di'	medium
Trachelospermum jasminoides	medium

BIO-PLANTER SHRUBS and GROUND COVER

Agave sp.	Low
Aloe sp.	Low
Bougainvillea sp.	Low
Bougainvillea La Jolla	Low
Carex	Low
Carissa m. 'Green Carpet'	Low
Nassella pulchra	Low
Nassella tenuissima	Low
Muhlenbergia rigens	Low

WUCOLS

WUCOLS

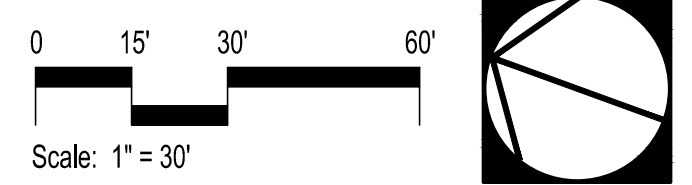


PLANTING LEGEND

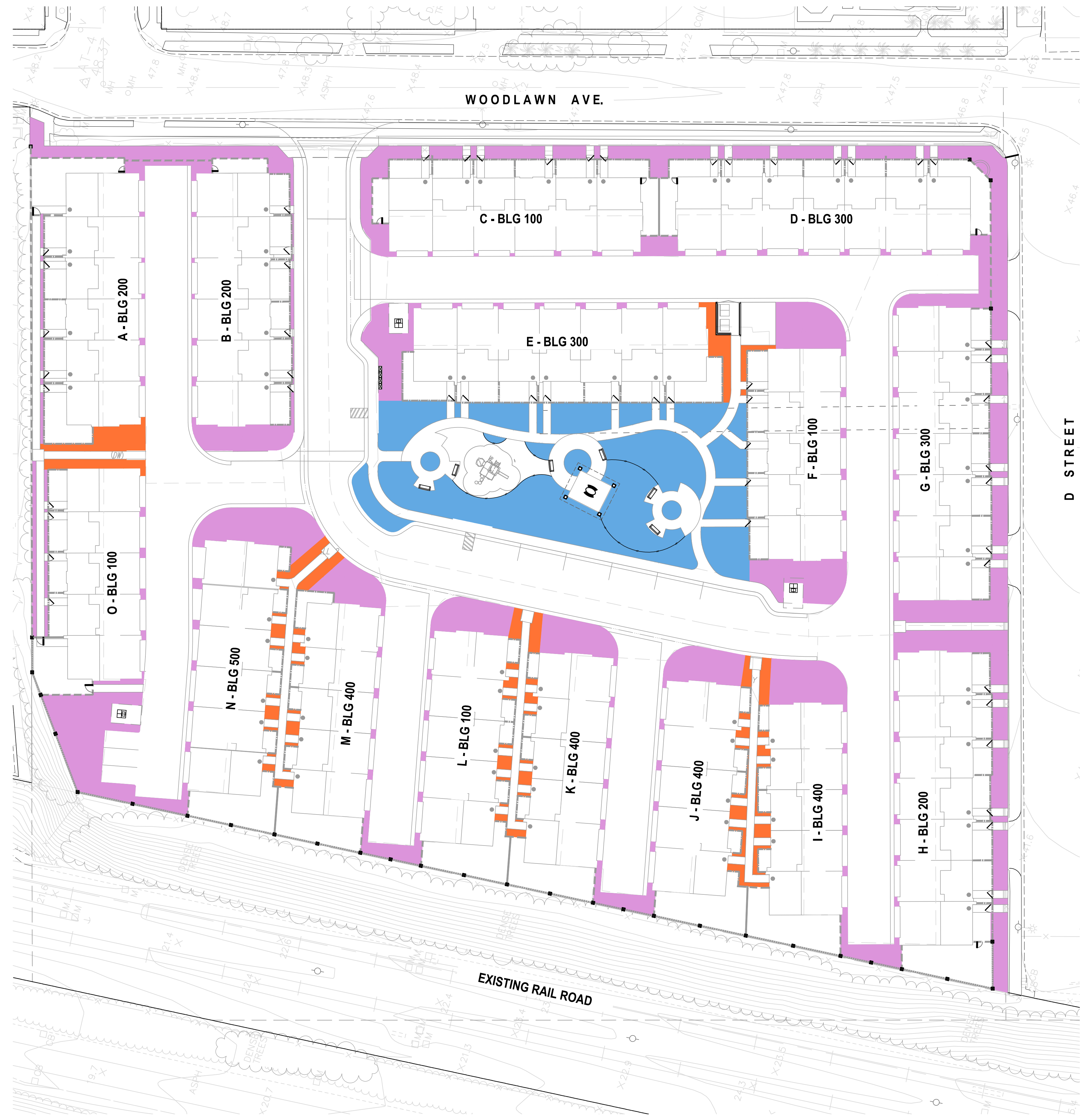
Symbol	Type/Form	Suggestions	Trunk	Size	WUCOLS (Reg. 4)	Qty.
	Specimen	Olive sp. (Fruitless Olive)	Single	B&B	Low	7
	Canopy Evergreen	Magnolia grandiflora (Southern Magnolia)	Single	36" Box	Med	12
	Canopy Deciduous	Tipuana tipu (Tipu Tree)	Single	24" Box	Low	6
	Canopy Deciduous	Jacaranda mimosifolia (Jacaranda)	Single	24" Box	Med	21
	Deciduous Flowering	Sycamore racemosa (California Sycamore)	Single	24" Box	Med	62
	Evergreen Flowering	Lagerstroemia i. 'Watermelon Red' (W.R. Myrtle)	Single	15 Gal	Low	11
	Street	Geijera parviflora (Australian Willow)	Single	24" Box	Low	26
	Vertical Buffer / Screen	Agonis flexuosa (Peppermint Tree)	Multi Single	15 Gal	Med	11
	Columnar	Rhus lancea (African Sumac)	Single	15 Gal	Low	182
	Columnar	Melaleuca quinquenervia (Paperbark Melaleuca)	Single	15 Gal	Low	10
	Columnar	Tristania conferta (Brisbane Box)	Single	15 Gal	Med	12
	Conifer	Cupressus sempervirens (Italian Cypress)	Single	15 Gal	Low	10
	Parkway	Pittosporum t. 'Silver Sheen' (Silver Sheen)	Single	24" Box	Low	12
	Vine	Podocarpus macrophyllus (Yew Pine)	-	15 gallon	Low	27
	Bio-Planter	Pinus elderica (Afghan Pine)	-	-	-	-
	Common Area	Arbutus 'Marina' (Marina Strawberry Tree)	-	-	-	-
		Macfadyena unguis-cati (Yellow trumpet vine)	-	-	-	-

NOTES:

- Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881) and City of Chula Vista's Chapter 20.12 Chula Vista Landscape Water Conservation Ordinance.
- Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted per local codes & regulations.
- Landscape lighting (landscape up-lights, path lights/bollards, etc.) to be coordinated with Electrical Engineer in future phase.
- The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this project. However, substitutions may be required due to availability, soils tests, or other conditions.
- All trees within 10' of hardscape to be installed with deep root barriers.
- There are no existing trees to remain.



Conceptual Planting Plan

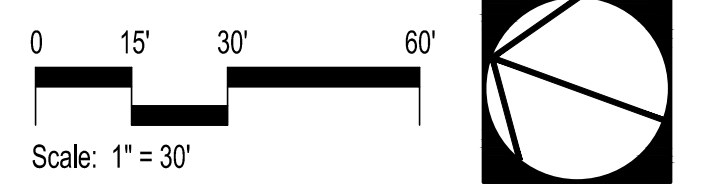


IRRIGATION SCHEDULE - HYDROZONES

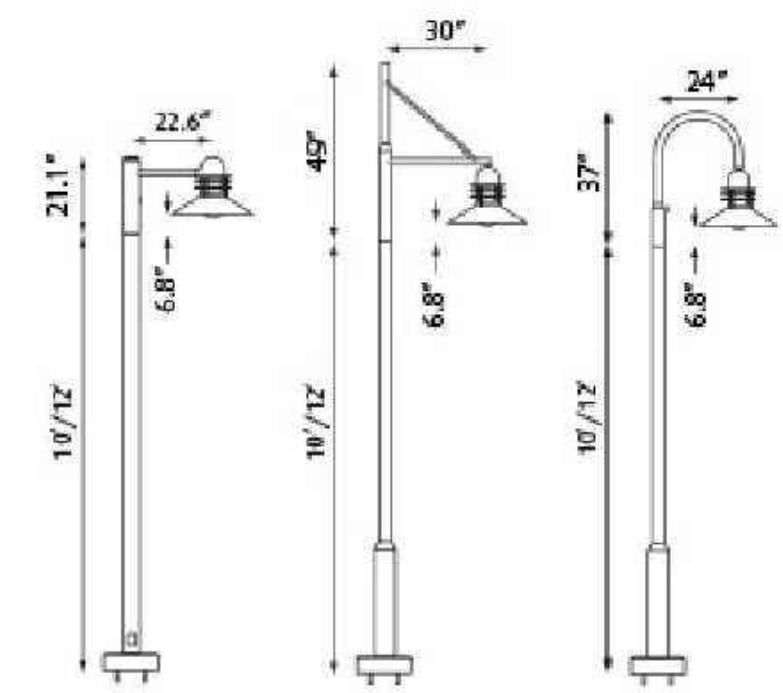
SYMBOL	NOTES	QTY
[Orange Box]	HYDROZONE 1A: HOA - RESIDENTIAL CORRIDORS; LOW WATER USE SHRUBS, GROUNDCOVER AND TREES WITH IN-LINE EMITTER DRIP IRRIGATION. PLANT FACTOR = 0.5, IRRIGATION EFFICIENCY = 0.80	3,174 sf
[Purple Box]	HYDROZONE 1B: HOA - STREETScape AND RESIDENTIAL OPEN SPACE WITH BIO-PLANTERS - LOW WATER USE SHRUBS, GROUNDCOVER AND TREES WITH IN-LINE EMITTER DRIP IRRIGATION. PLANT FACTOR = 0.5,	20,826 sf
[Blue Box]	HYDROZONE 2: HOA - RESIDENTIAL PRODUCTION; PUBLIC OPEN SPACE; LOW WATER USE SHRUBS, GROUNDCOVER AND TREES WITH IN-LINE EMITTER DRIP IRRIGATION. PLANT FACTOR = 0.3, IRRIGATION EFFICIENCY = 0.80	9,343 sf

NOTES:

1. Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881).
2. Provided Hydrozones are preliminary and final zones, ETWU and MAWA calculations to be provided / included with future landscape construction documents and will be compliant with the City of Chula Vista's Chapter 20.12 Chula Vista Landscape Water Conservation Ordinance.

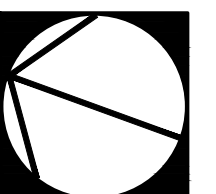
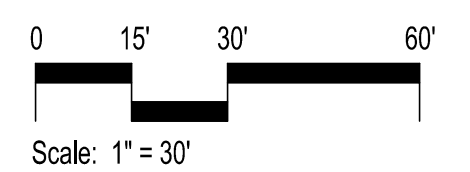


Conceptual Irrigation Hydrozone Plan



LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL	Material	Finish	Electrical	Lamp	Watts	Color Temp	Lens	Ballast	Optics/Glare	Mounting	Options
▽	Kichler, model # 16006AZT27. Tree uplight, staked.	14		Cast aluminum	Textured Architectural Bronze	12V	LED	6.5	2700K Warm White			Radiax Optic	Staked	
◊	Kichler, model #16005AZT30. Shade structure down light.	4		Cast Aluminum	Textured Architectural Bronze	12V	LED	4	3000K Warm White	60 degree beam spread			Mounting Flange	Model # 15607AZT
□	Decorative Pole Light, 120V by Elec. Engineer.	6		Cast Aluminum	Powdercoat	120V	Per Elec. Eng.	Per Elec. Eng.	Per Elec. Eng.	Per Elec. Eng.	N/A	Per Elec. Eng.	Pole	Location per Electrical Engineer's dwgs.
⊠	Kichler, model # 15PR300 SS. Low-voltage transformer.	2		Cast Aluminum	Textured Architectural Bronze			75					Wall	Install with Mechanical Transformer Timer (#15557BK & Plug-In Transformer Remote Photocell (#15534K).
⊕	Exterior Electrical Outlet, 120V	1			Exterior Grade	120V							Staked or Wall	Location per Electrical Engineer's dwgs.



Schematic Lighting Plan

City Ventures