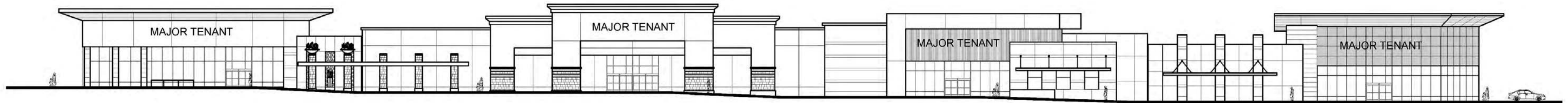


MILLENIA - LOTS 2 & 3 - RETAIL CHULA VISTA, CA



PROJECT NARRATIVE:

A NEW COMMERCIAL / RETAIL DEVELOPMENT LOCATED AT THE INTERSECTION OF BIRCH ROAD AND MILLENIA AVENUE ON THE EAST SIDE OF STATE ROUTE 125, IN CHULA VISTA, CALIFORNIA. THE PROPOSED DEVELOPMENT IS PART OF THE MILLENIA MASTER PLAN AND CONSISTS OF (2) PROPERTIES. LOT 2 ENCOMPASSES APPROXIMATELY 9.8 ACRES WITH APPROXIMATELY 106,000 SF OF BUILDINGS, AND LOT 3 ENCOMPASSES APPROXIMATELY 2.6 ACRES WITH APPROXIMATELY 25,000 SF OF BUILDINGS. THE DEVELOPMENT INCLUDES NEW BUILDINGS AND SITE WORK.

ASSESSOR PARCEL NUMBER:

LOT 2 APN: 643-060-27-00
LOT 3 APN: 643-060-28-00

LEGAL DESCRIPTION:

LOT 2 : LOT 2 OF FINAL MAP 16081,
LOTS "B" & "D" OF FINAL MAP 15942 AND LOT "L" OF FINAL MAP 16081.
LOT 3 : LOT 3 OF FINAL MAP 16081

CONSTRUCTION TYPE / OCCUPANCY:

LOT 2:
ANCHOR RETAIL BUILDINGS A,B,C, & D- (M): TYPE VB, FULLY SPRINKLERED
RETAIL SHOPS & PADS E,F,G, & H- (M & A-2): TYPE VB, FULLY SPRINKLERED
LOT 3:
RETAIL SHOPS & PADS K,L,M,N- (M & A-2): TYPE VB, FULLY SPRINKLERED

ZONING:

EASTERN URBAN CENTER SECTIONAL PLANNING AREA (SPA)
LOT 2 MH-1 AND MH-3
LOT 3 MH-1

FIRE DEPARTMENT NOTES:

1. PROVIDE A KNOX VAULT AT THE MAIN ENTRANCE ENTRANCE TO THE BUILDING.
2. PROVIDE A KNOX BOX AT THE FIRE CONTROL ROOM.
3. BUILDING SHALL BE ADDRESSED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 - 0-50ft. FROM THE BUILDING TO THE FACE OF THE CURB = 6 INCHES IN HEIGHT WITH A 1" STROKE.
 - 51-151ft. FROM THE BUILDING TO THE FACE OF THE CURB = 10 INCHES IN HEIGHT WITH A 1 1/2" STROKE.
 - 151ft. FROM THE BUILDING TO THE FACE OF THE CURB = 16 INCHES IN HEIGHT WITH A 2" STROKE.
4. THE BUILDINGS IN THIS PROJECT ARE TO BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM.
5. THE BUILDINGS IN THIS PROJECT ARE TO BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC FIRE ALARM SYSTEM.

F.A.R. / BUILDING HEIGHT:

SITE AREA (LOT 2):
MAXIMUM ALLOWABLE F.A.R. PER MILLENIA SPA
PROPOSED F.A.R. .26
MINIMUM AVERAGE BUILDING HEIGHT: MH-1 25', MH-3 35'
PROPOSED MAXIMUM HEIGHT: 52' @ TOWER

SITE AREA (LOT 3):
MAXIMUM ALLOWABLE F.A.R. PER MILLENIA SPA
PROPOSED F.A.R. .29
MINIMUM AVERAGE BUILDING HEIGHT: MH-1 25'
PROPOSED MAXIMUM HEIGHT: 40'

PROPOSED USES:

COMMERCIAL (RETAIL, RESTAURANT, SERVICES)

SITE SUMMARY:

SITE AREA (LOT 2): ±439,520 SF. = 10.09 ACRES
BUILDING AREA: ±105,534 SF.
LOT COVERAGE: = 24.0%
SITE AREA (LOT 3): ±115,534 SF. = 2.65 ACRES
BUILDING AREA: ±25,267 SF.
LOT COVERAGE: = 22.0%

PARKING SUMMARY:

(LOT 2) TOTAL REQUIRED: PER PARKING MANAGEMENT PLAN IN MILLENIA SPA
TOTAL PROVIDED: 455 STALLS
(LOT 3) TOTAL REQUIRED: PER PARKING MANAGEMENT PLAN IN MILLENIA SPA
TOTAL PROVIDED: 130 STALLS

SHEET INDEX:

1. COVER SHEET
2. PROJECT OVERALL SITE PLAN
3. ENLARGED SITE PLAN AREA "A" (LOT 2)
4. ENLARGED SITE PLAN AREA "B" (LOT 2)
5. ENLARGED SITE PLAN AREA "C" (LOT 3)
6. SITE PLAN LAYOUT (C-1)
7. SITE PLAN LAYOUT (C-2)
8. SITE PLAN LAYOUT (C-3)
9. GRADING AND UTILITY PLAN (C-4)
10. GRADING AND UTILITY PLAN (C-5)
11. GRADING AND UTILITY PLAN (C-6)
12. NOTES AND DETAILS
13. LOT 2 PLAN (L-1)
14. LOT 2 PLAN (L-2)
15. LOT 3 PLAN (L-3)
16. LOT 2 COURTYARD EXHIBITS (L-4)
17. LOT 2 PLAN ENLARGEMENTS (L-5)
18. LOT 3 PLAN ENLARGEMENTS (L-6)
19. LOT 2 LANDSCAPE SECTIONS (L-7)
20. JOGGING TRAIL EXHIBITS (L-8)
21. SITE UTILIZATION PLAN
22. PARKING PLAN
23. PEDESTRIAN SITE PLAN
24. TRASH / RECYCLING SITE PLAN
25. TRASH ENCLOSURE DETAILS
26. TRASH TRUCK TURNING RADIUS PLAN
27. FIRE TRUCK TURNING PLAN
28. FLOOR PLAN BUILDINGS A & B
29. FLOOR PLAN BUILDINGS C & D
30. ROOF PLAN BUILDINGS A,B,C, & D
31. FLOOR & ROOF PLANS BUILDINGS E & F
32. FLOOR & ROOF PLANS BUILDINGS M & N
33. EXTERIOR ELEVATIONS BUILDINGS A,B,C, & D
34. EXTERIOR ELEVATIONS BUILDINGS E & F
35. EXTERIOR ELEVATIONS BUILDINGS M & N
36. DESIGN GUIDELINES
37. FIXTURE SCHEDULE & PHOTOS (E0.1)
38. DETAILS (E0.2)
39. SITE LIGHTING/PHOTOMETRIC (E1.1)
40. SITE LIGHTING/PHOTOMETRIC (E1.2)
41. SITE LIGHTING/PHOTOMETRIC (E1.3)
42. MAJOR TENANT PERSPECTIVES
43. BUILDINGS "E & F" COURTYARD PERSPECTIVES
44. BUILDING "E" PERSPECTIVES
45. COLOR SITE PLAN
46. COLORS & MATERIALS

DEVELOPMENT TEAM:

Developer

Sudberry Development, Inc.
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(858) 546-3000 x571

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Andy Stevenson (astevenson@ahs-a.com)

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(js.architecture.sd@gmail.com)

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Signage

Jones Sign

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John Hadaya (jhadaya@jonesign.com)



VICINITY MAP

NTS

Andrew Hull Stevenson Architects

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Millenia Lots 2 & 3
Chula Vista, California

Project Name:

Millenia Lots 2 & 3

Sheet Title:

COVER SHEET

Revision 05: _____

Revision 04: _____

Revision 03: 11/10/16

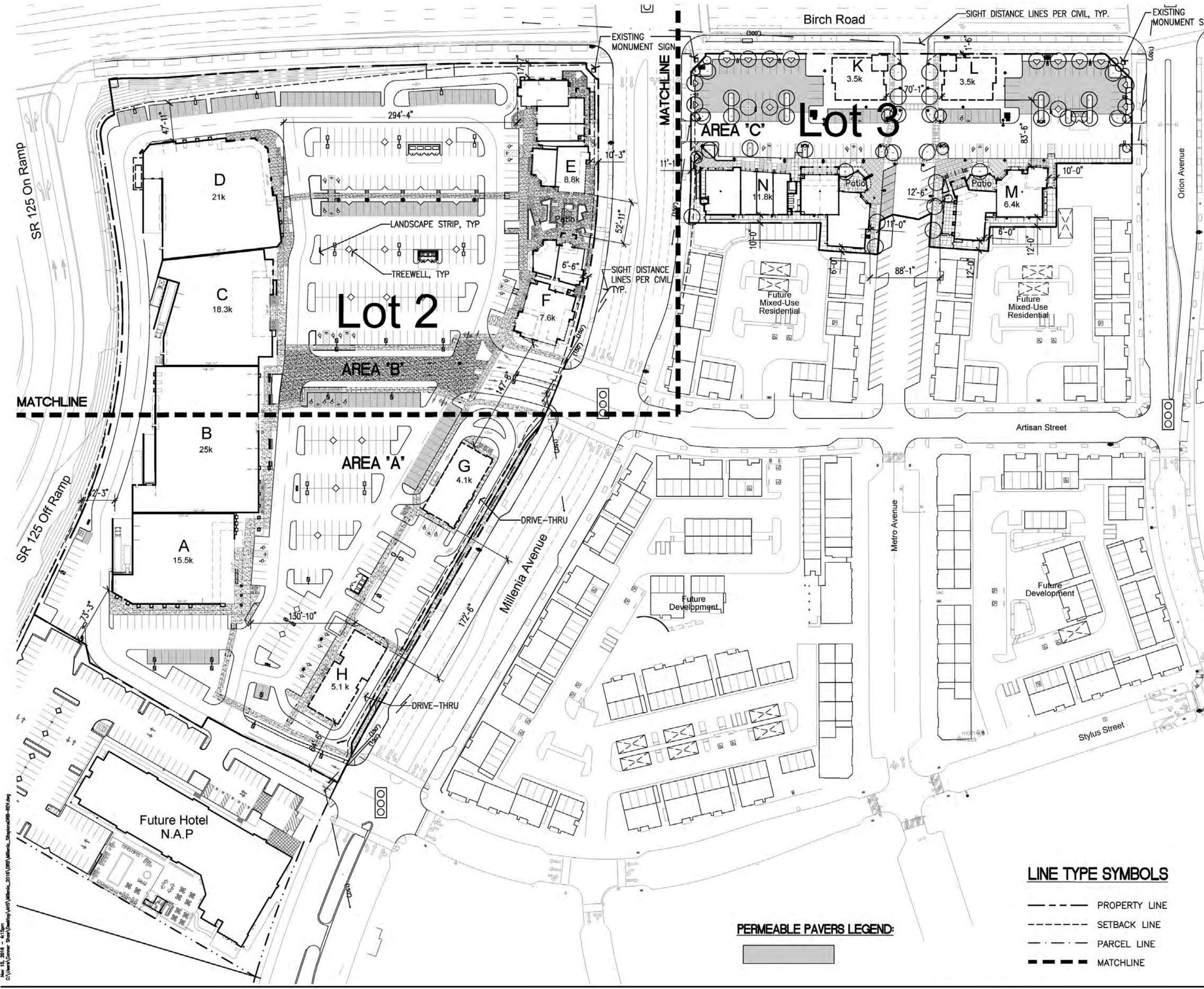
Revision 02: 9/09/16

Revision 01: 6/24/16

Original Date: 3/16/16

Sheet 1 of 46

DEP# _____



SITE SUMMARY:

SITE AREA (LOT 2): ±439,520 SF. = 10.9 ACRES
 BUILDING AREA: ±105,534 SF.
 LOT COVERAGE: = 24.0%

SITE AREA (LOT 3): ±115,534 SF. = 2.65 ACRES
 BUILDING AREA: ±25,267 SF.
 LOT COVERAGE: = 22.0%

Project Summary

Lot 2
 Site Area 10.09 Acres Net
 (excluding public jogging trail)
 Gross Building Area 105,534 sf
 Net Building Area 104,253 sf

Building Summary	Gross	Utility Rooms	Net
A) Retail	15,502 sf		15,502 sf
B) Retail	25,006 sf		25,006 sf
C) Retail	18,315 sf		18,315 sf
D) Retail	21,048 sf		21,048 sf
E) Retail / Food	8,835 sf - 502 sf		8,333 sf
F) Retail / Food	7,591 sf - 648 sf		6,943 sf
G) Fast Food / Financial	4,100 sf		4,100 sf
H) Fast Food / Financial/ Comm.	5,137 sf - 131 sf		5,006 sf
Totals	105,534 sf - 1,281 sf		= 104,253 sf

Parking Summary
 Parking Provided 455 Stalls (4.3/1000)

Lot 3
 Site Area 2.65 Acres Net
 Gross Building Area 25,267 sf
 Net Building Area 24,486 sf

Building Summary	Gross	Utility Rooms	Net
K) Retail / Financial / Food	3,500 sf		3,500 sf
L) Retail / Financial / Food	3,500 sf		3,500 sf
M) Retail / Food	6,415 sf - 103 sf		6,312 sf
N) Retail / Food	11,852 sf - 678 sf		11,174 sf
Totals	25,267 sf - 781 sf		= 24,486 sf

Parking Summary
 Parking Provided 130 Stalls (5.15/1000)

Total project Building Area
 Gross Building Area 130,801 sf
 Net Building Area 128,739 sf

REQUIRED SETBACKS
 BIRCH ROAD - 10' MAX.
 MILLENIA AVE - 10' MAX.
 ORION AVENUE - 10' MAX.
 SR-125 - 0'

SIGNAGE NOTE
 MONUMENT AND BUILDING TENANT SIGNAGE IS NOT SHOWN ON THIS SITE PLAN. A COMPREHENSIVE SIGN PROGRAM WILL BE SUBMITTED UNDER SEPARATE COVER.

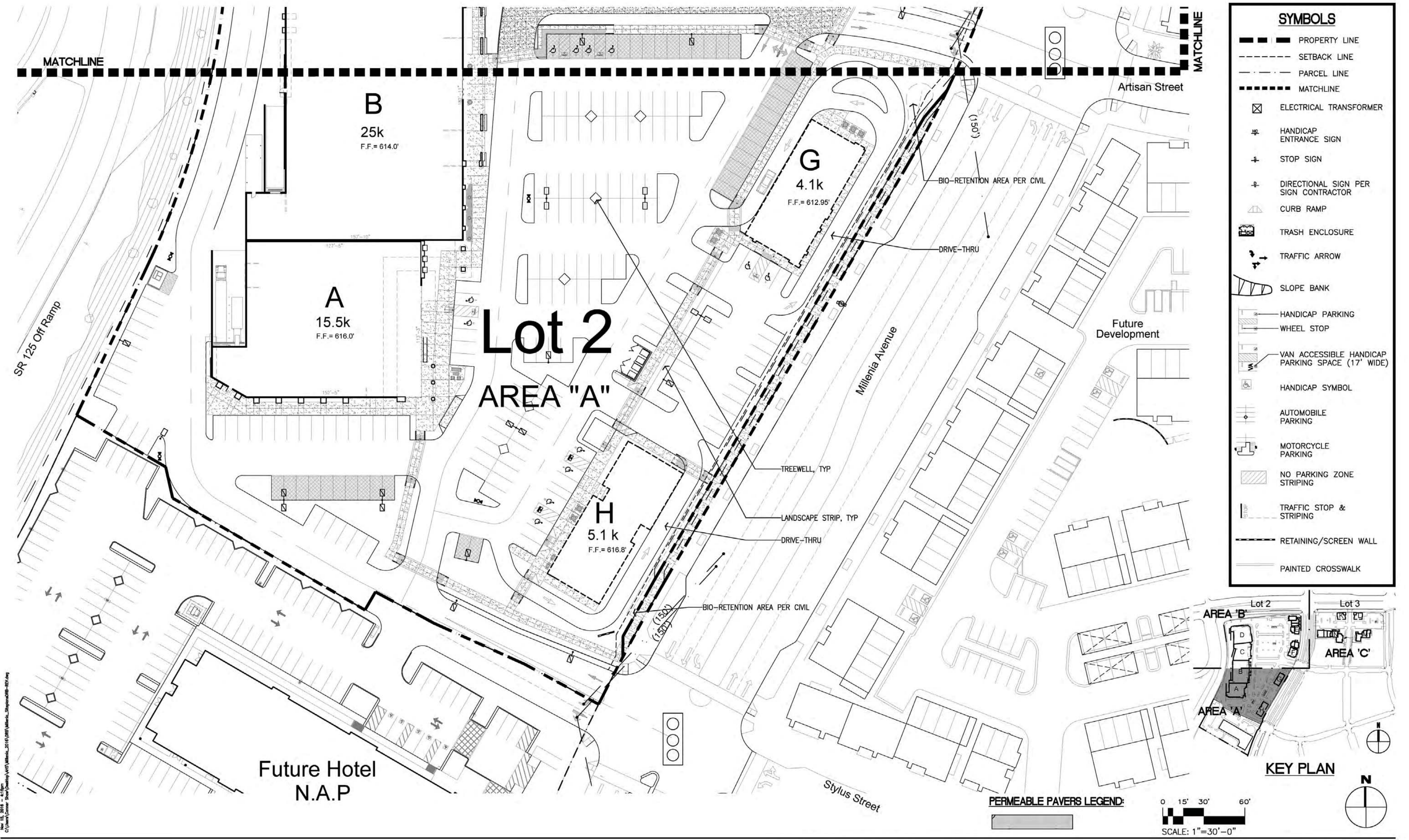
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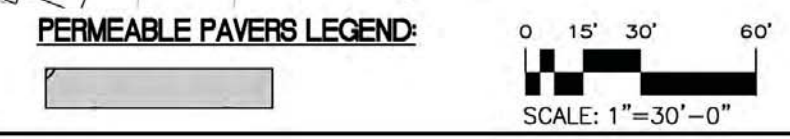
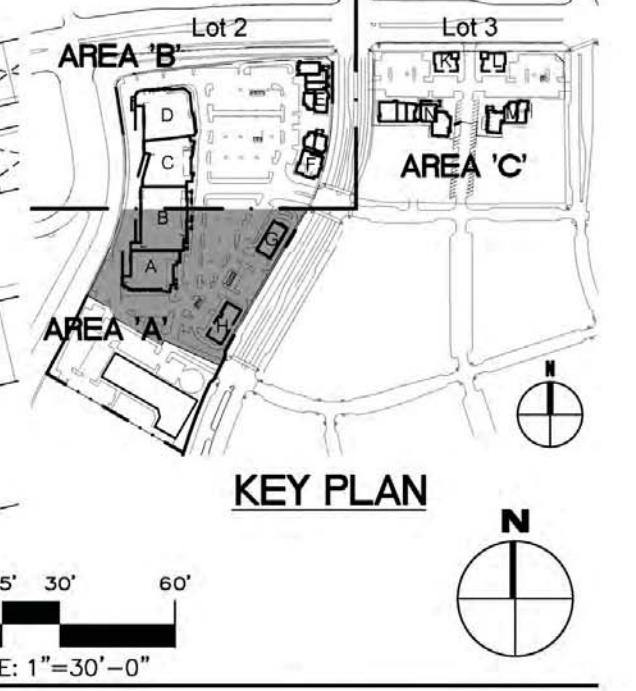
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- - - SETBACK LINE
- . - . PARCEL LINE
- - - - MATCHLINE

PERMEABLE PAVERS LEGEND:





SYMBOLS	
	PROPERTY LINE
	SETBACK LINE
	PARCEL LINE
	MATCHLINE
	ELECTRICAL TRANSFORMER
	HANDICAP ENTRANCE SIGN
	STOP SIGN
	DIRECTIONAL SIGN PER SIGN CONTRACTOR
	CURB RAMP
	TRASH ENCLOSURE
	TRAFFIC ARROW
	SLOPE BANK
	HANDICAP PARKING
	WHEEL STOP
	VAN ACCESSIBLE HANDICAP PARKING SPACE (17' WIDE)
	HANDICAP SYMBOL
	AUTOMOBILE PARKING
	MOTORCYCLE PARKING
	NO PARKING ZONE STRIPING
	TRAFFIC STOP & STRIPING
	RETAINING/SCREEN WALL
	PAINTED CROSSWALK



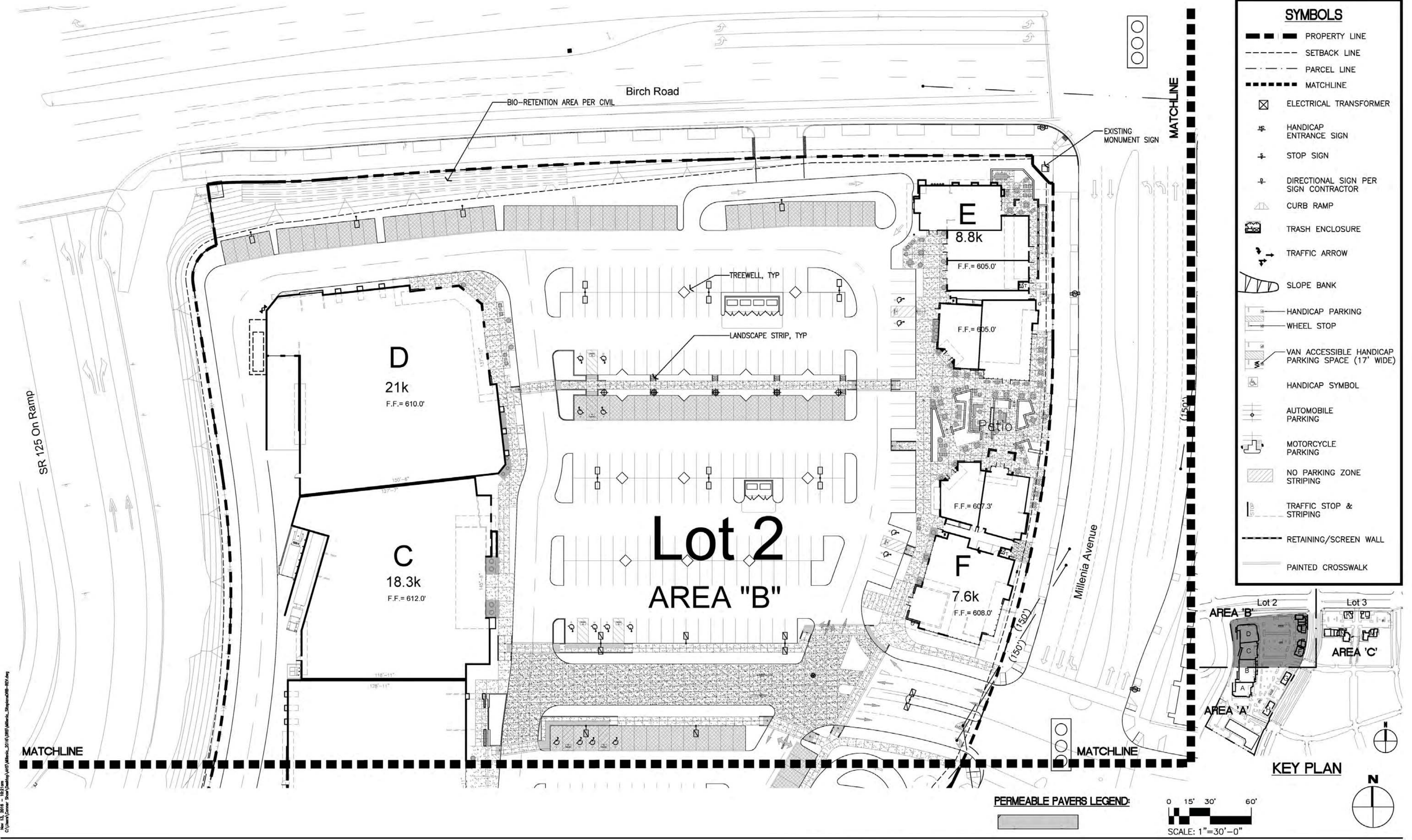
Nov 15, 2016 - 4:10pm
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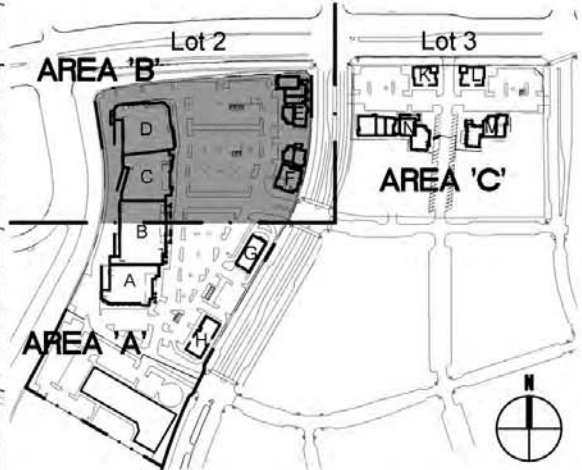


Millenia Lots 2 & 3
 Chula Vista, California

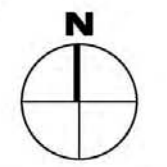
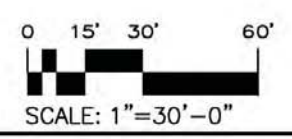
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Sheet Title:	ENLARGED SITE PLAN AREA "A" (LOT 2)
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
Sheet	3 of 46
DEP#	_____



SYMBOLS	
	PROPERTY LINE
	SETBACK LINE
	PARCEL LINE
	MATCHLINE
	ELECTRICAL TRANSFORMER
	HANDICAP ENTRANCE SIGN
	STOP SIGN
	DIRECTIONAL SIGN PER SIGN CONTRACTOR
	CURB RAMP
	TRASH ENCLOSURE
	TRAFFIC ARROW
	SLOPE BANK
	HANDICAP PARKING
	WHEEL STOP
	VAN ACCESSIBLE HANDICAP PARKING SPACE (17' WIDE)
	HANDICAP SYMBOL
	AUTOMOBILE PARKING
	MOTORCYCLE PARKING
	NO PARKING ZONE STRIPING
	TRAFFIC STOP & STRIPING
	RETAINING/SCREEN WALL
	PAINTED CROSSWALK



PERMEABLE PAVERS LEGEND:

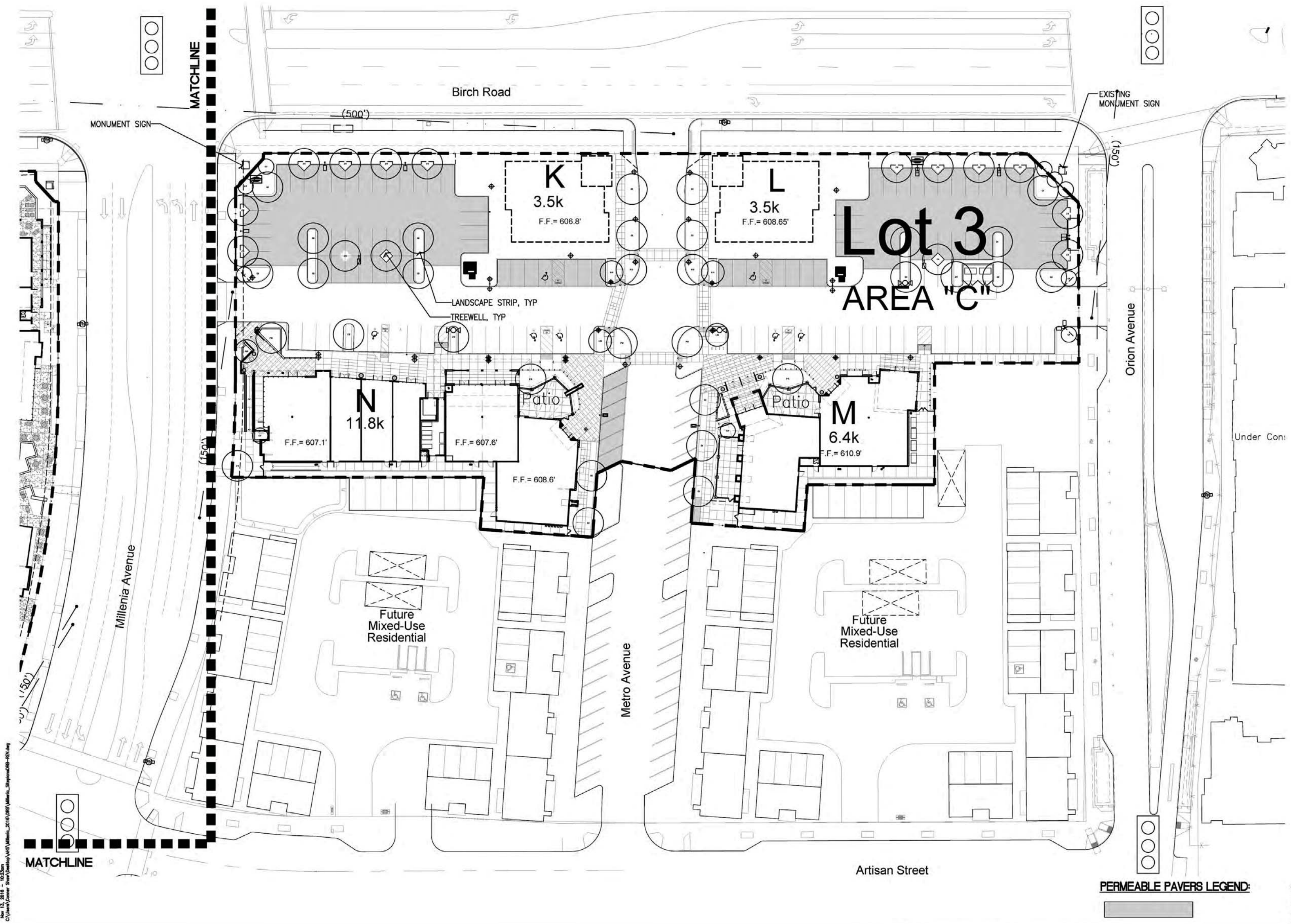


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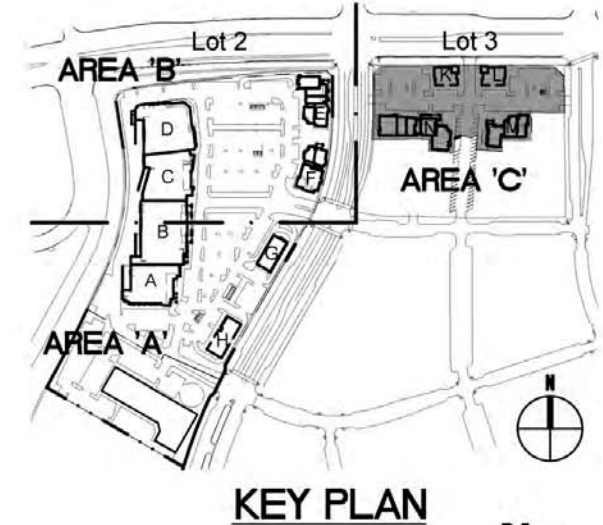


Millenia Lots 2 & 3
 Chula Vista, California

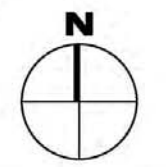
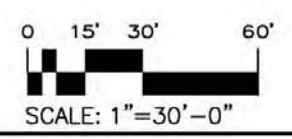
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Sheet Title:	ENLARGED SITE PLAN AREA "B" (LOT 2)
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
Sheet	4 of 46
DEP#	_____



SYMBOLS	
	PROPERTY LINE
	SETBACK LINE
	PARCEL LINE
	MATCHLINE
	ELECTRICAL TRANSFORMER
	HANDICAP ENTRANCE SIGN
	STOP SIGN
	DIRECTIONAL SIGN PER SIGN CONTRACTOR
	CURB RAMP
	TRASH ENCLOSURE
	TRAFFIC ARROW
	SLOPE BANK
	HANDICAP PARKING
	WHEEL STOP
	VAN ACCESSIBLE HANDICAP PARKING SPACE (17' WIDE)
	HANDICAP SYMBOL
	AUTOMOBILE PARKING
	MOTORCYCLE PARKING
	NO PARKING ZONE STRIPING
	TRAFFIC STOP & STRIPING
	RETAINING/SCREEN WALL
	PAINTED CROSSWALK



PERMEABLE PAVERS LEGEND:

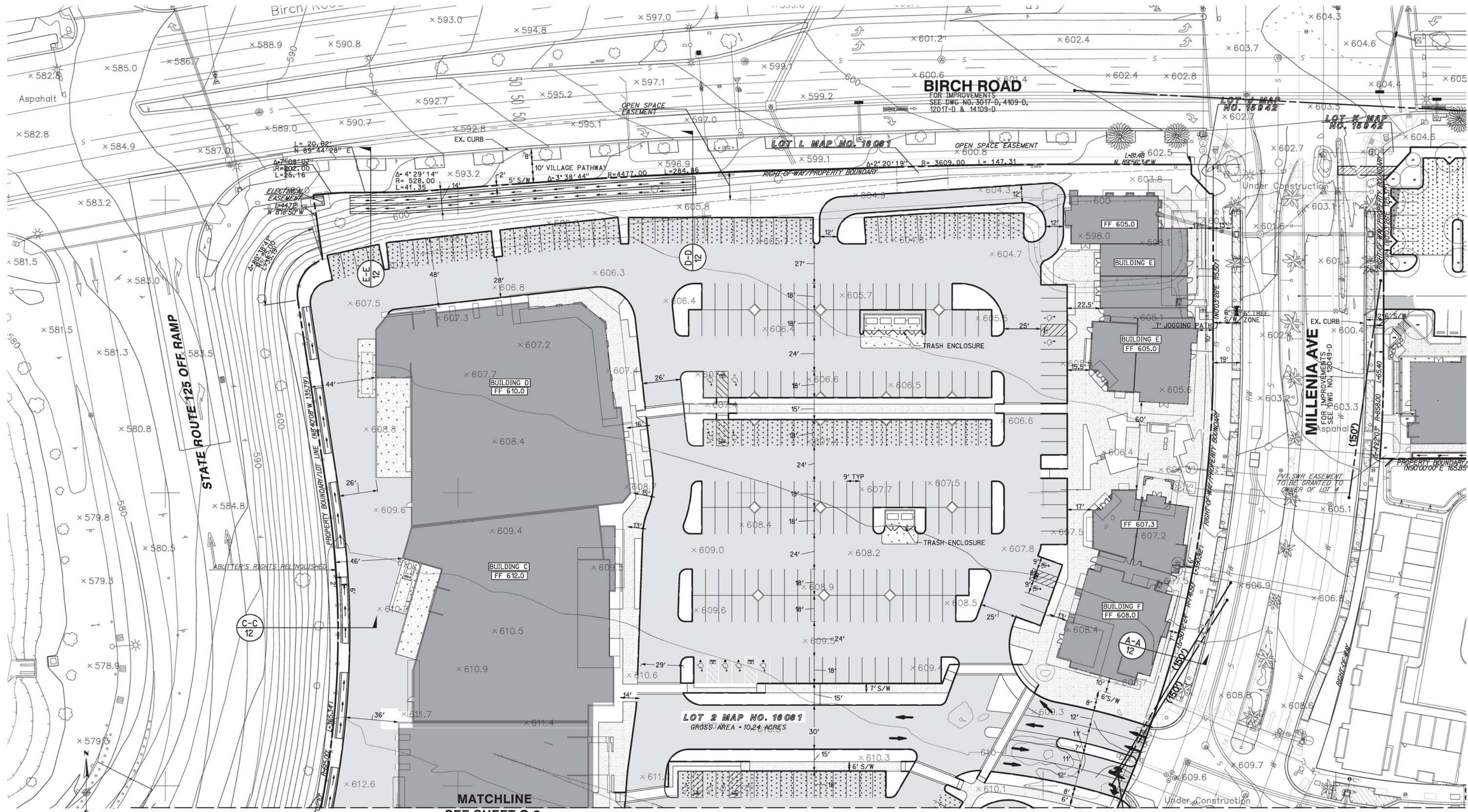


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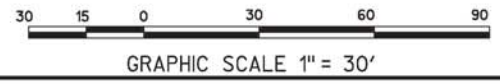


Millenia Lots 2 & 3
 Chula Vista, California

Project Name:	Millenia Lots 2 & 3
Sheet Title:	ENLARGED SITE PLAN AREA "C" (LOT 3)
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
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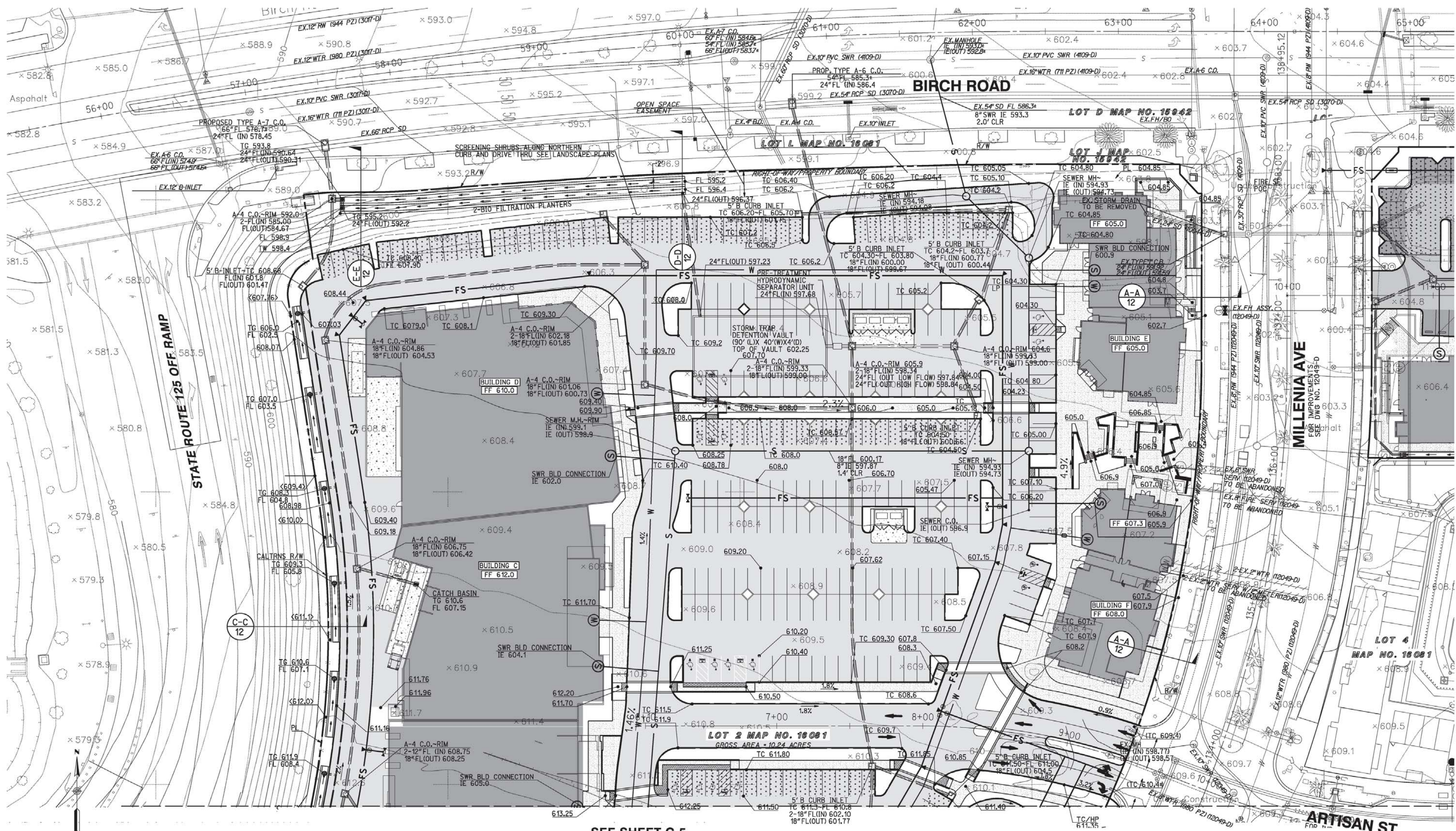
Millenia Lots 2 & 3

Chula Vista, California

Project Name:	Millenia Lots 2 & 3	Revision 05:	
Sheet Title:	SITE PLAN LAYOUT (C-1)	Revision 04:	11/10/16
		Revision 03:	9/9/16
		Revision 02:	6/24/16
		Revision 01:	3/16/16
		Original Date:	3/16/16
		Sheet	6 of 46
		DEP#	

NOTE:
SEE SHEET 12 FOR LEGEND,
STREET SECTIONS AND CROSS-SECTIONS

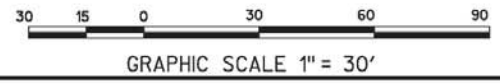
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SEE SHEET C-5

SEE SHEET C-6

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SEE SHEET C-5

NOTE: SEE SHEET 12 FOR LEGEND, STREET SECTIONS AND CROSS-SECTIONS

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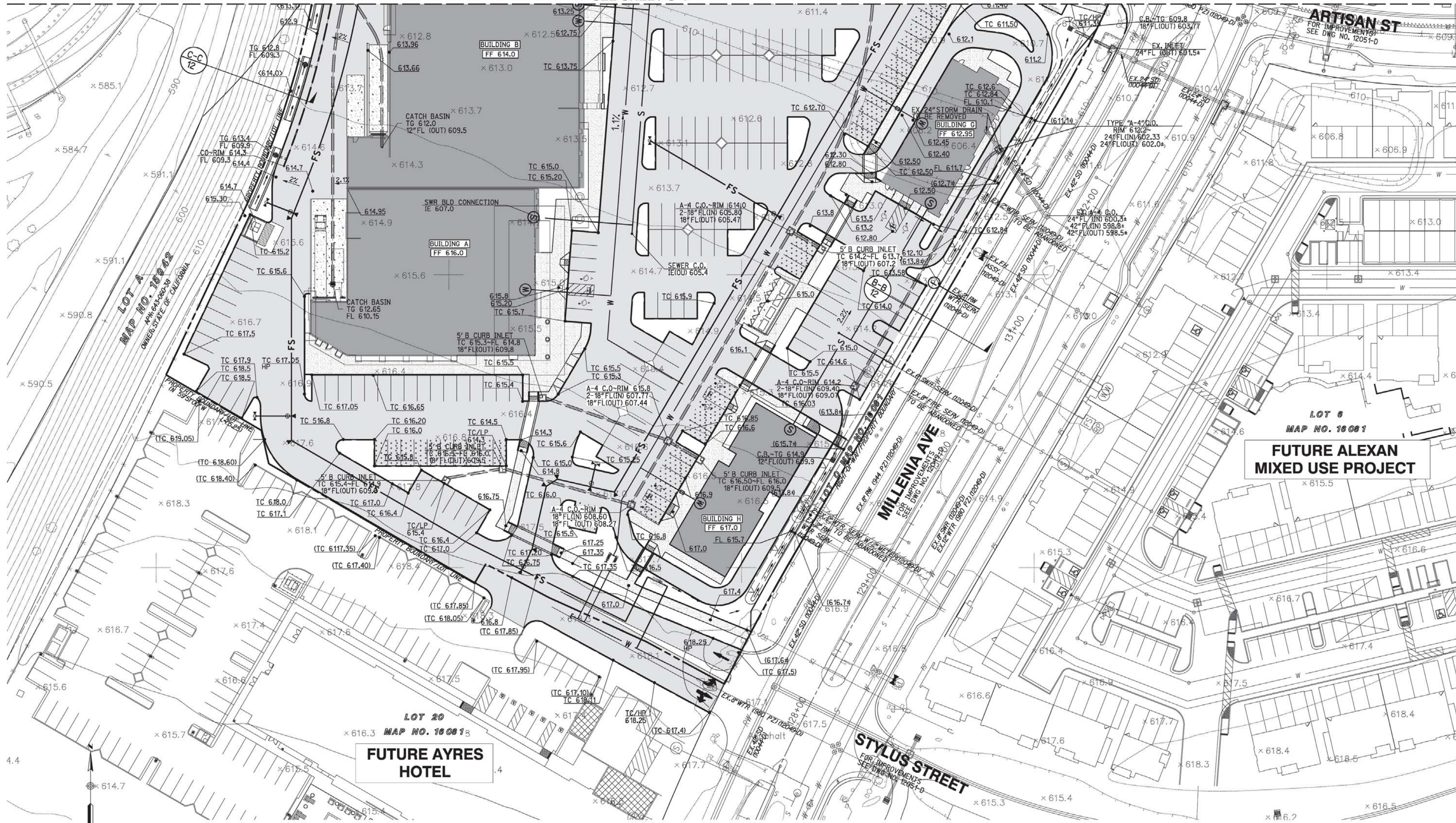
Sudberry Development

Millenia Lots 2 & 3

Chula Vista, California

Project Name:	Millenia Lots 2 & 3	Revision 05:	
Sheet Title:	GRADING AND UTILITY PLAN (C-4)	Revision 04:	11/10/16
		Revision 03:	9/9/16
		Revision 02:	6/24/16
		Revision 01:	3/16/16
		Original Date:	9 of 46
		Sheet	9 of 46
		DEP#	

SEE SHEET C-4



LOT 6
MAP NO. 16081
**FUTURE ALEXAN
MIXED USE PROJECT**

LOT 20
MAP NO. 16081
**FUTURE AYRES
HOTEL**



NOTE:
SEE SHEET 12 FOR LEGEND,
STREET SECTIONS AND CROSS-SECTIONS

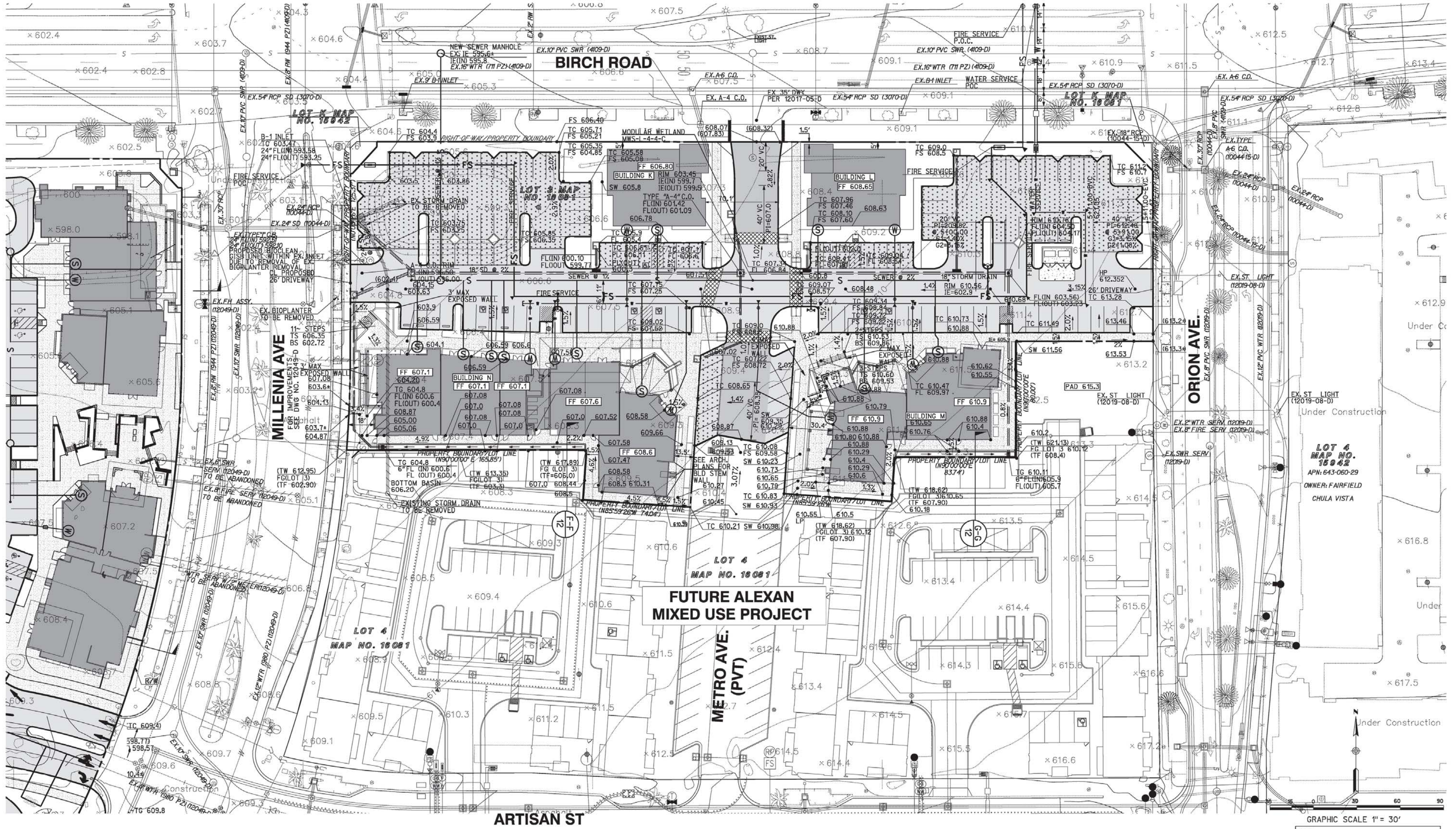
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Chula Vista, California

Project Name:	Millenia Lots 2 & 3
Revision 05:	
Revision 04:	11/10/16
Revision 03:	9/9/16
Revision 02:	6/24/16
Revision 01:	3/16/16
Original Date:	10 of 46
Sheet Title:	GRADING AND UTILITY PLAN (C-5)
DEP#:	

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11-00-0016 10/16



SEE SHEET C-1

GRAPHIC SCALE 1" = 30'
 NOTE: SEE SHEET 12 FOR LEGEND, STREET SECTIONS AND CROSS-SECTIONS

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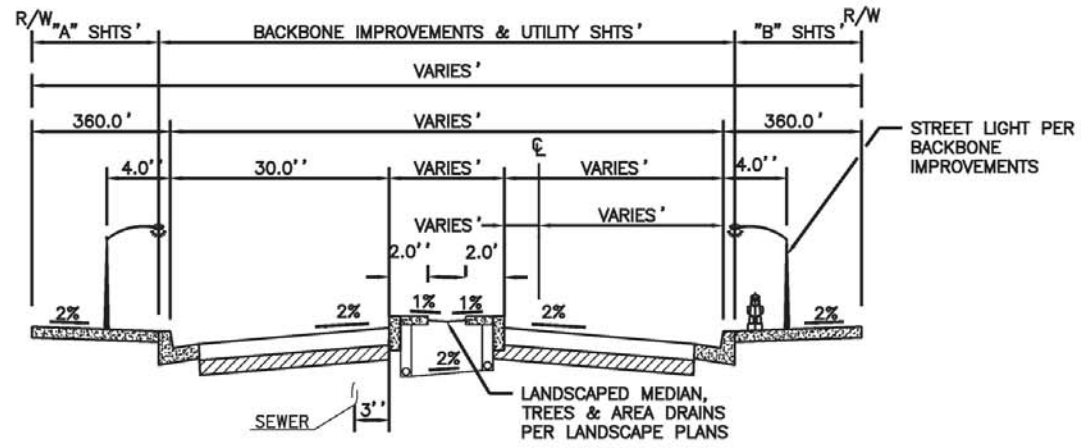


Sudberry Development

Millenia Lots 2 & 3
 Chula Vista, California

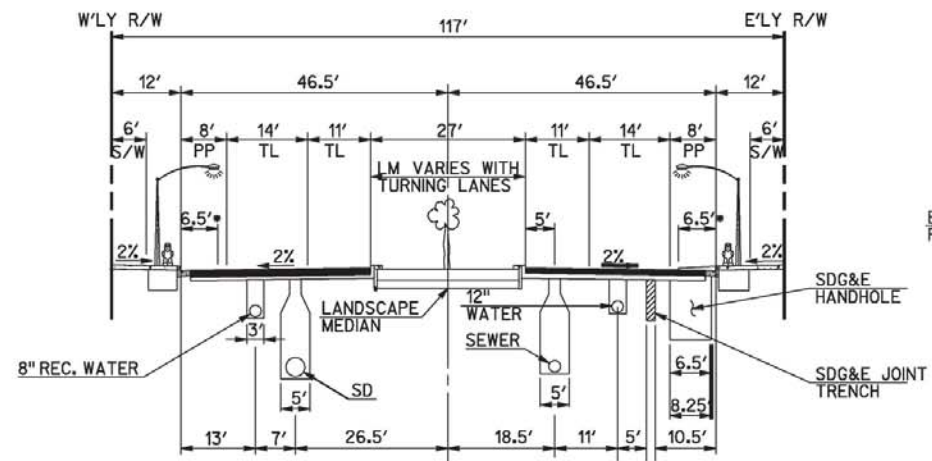
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Revision 05:	
Revision 04:	11/10/16
Revision 03:	9/9/16
Revision 02:	6/24/16
Revision 01:	3/16/16
Original Date:	3/16/16
Sheet:	11 of 46
DEP#:	

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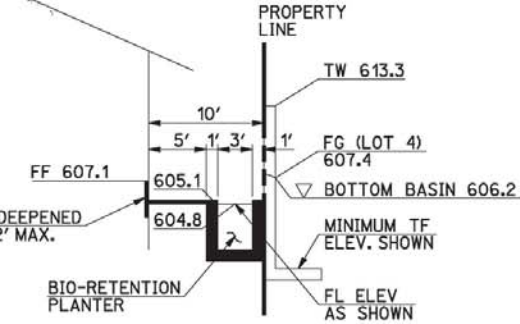
ORION AVE WITH VARYING MEDIAN

FROM ARTISAN STREET TO BIRCH ROAD
2 LANE MAJOR - (25 MPH PUBLIC STREET)
NOT TO SCALE



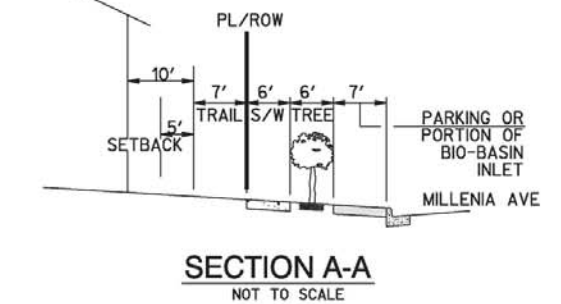
MILLENNIA AVENUE

FROM STYLUS STREET TO ARTISAN STREET
4 LANE MAJOR - (25 MPH PUBLIC STREET)
NOT TO SCALE



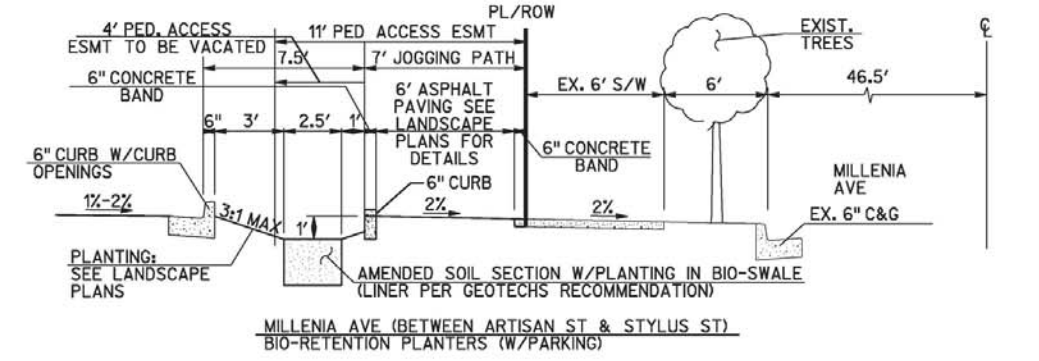
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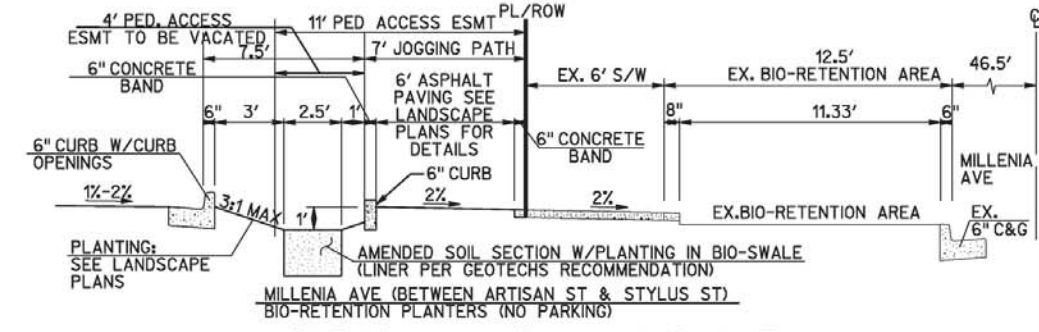


SECTION A-A

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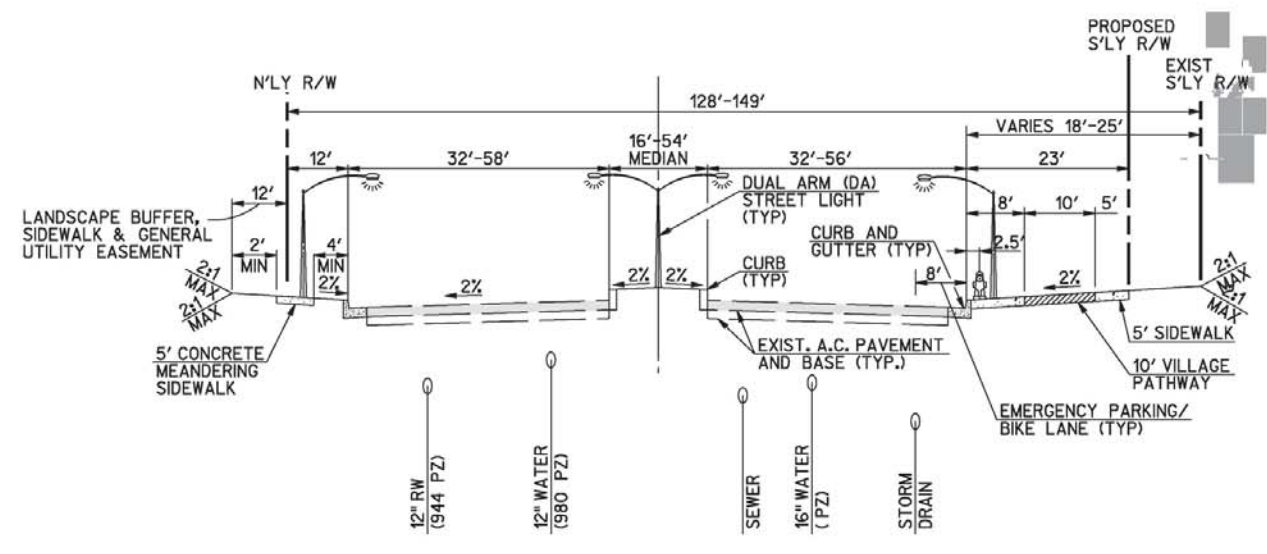
MILLENNIA AVE (BETWEEN ARTISAN ST & STYLUS ST)
BIO-RETENTION PLANTERS (W/PARKING)



MILLENNIA AVE (BETWEEN ARTISAN ST & STYLUS ST)
BIO-RETENTION PLANTERS (NO PARKING)

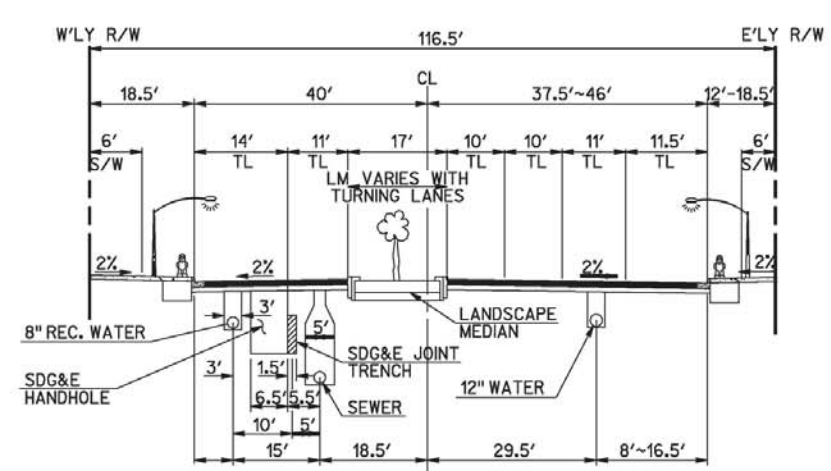
SECTION B-B BIO RETENTION BASIN

NOT TO SCALE



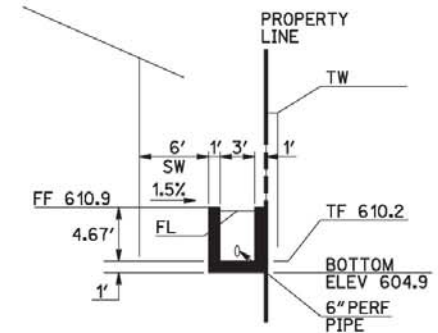
BIRCH ROAD

FROM STATE ROUTE 125 TO ARTISAN ORION AVENUE
MAJOR ARTERIAL - (55 MPH PUBLIC STREET)
NOT TO SCALE



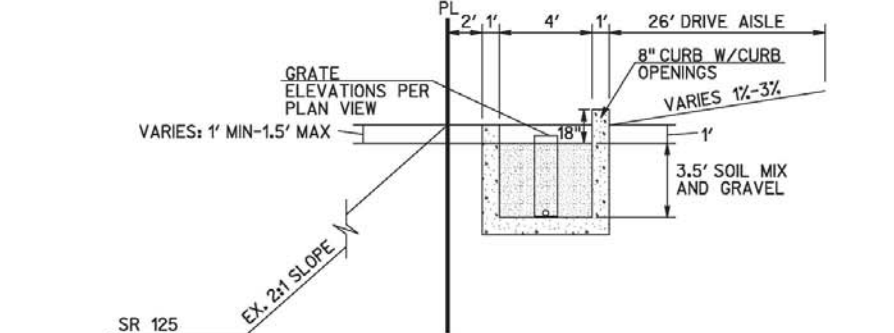
MILLENNIA AVENUE

FROM ARTISAN STREET TO BIRCH ROAD
4 LANE MAJOR - (25 MPH PUBLIC STREET)
NOT TO SCALE



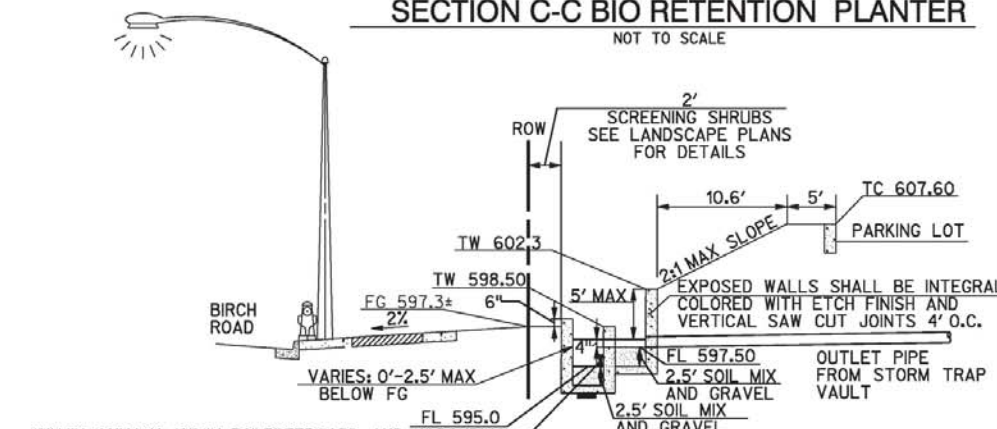
SECTION G-G BIORETENTION PLANTER

NTS



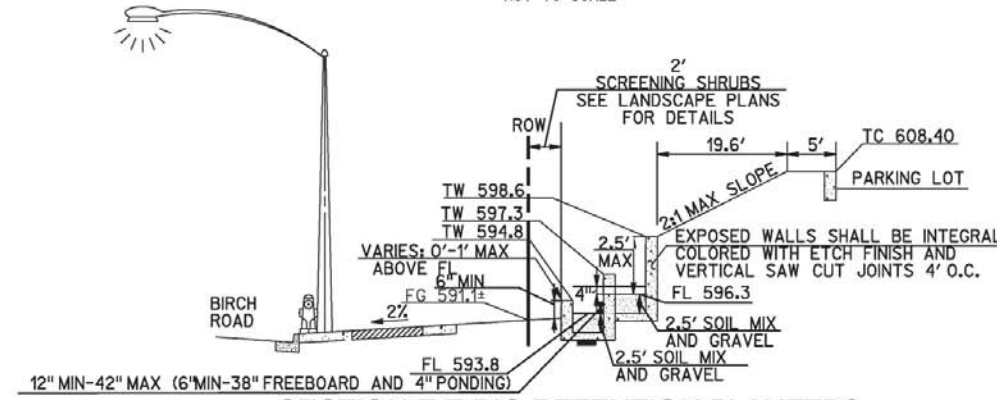
SECTION C-C BIO RETENTION PLANTER

NOT TO SCALE



SECTION D-D BIO-RETENTION PLANTERS

NOT TO SCALE



SECTION E-E BIO-RETENTION PLANTERS

NOT TO SCALE

LEGEND

PROPOSED IMPROVEMENT	STANDARD DWGS.	SYMBOL
BUILDING FINISH FLOOR		FF 95.07
TOP/TOE OF SLOPE		---
DAYLIGHT LINE/LIMIT OF GRADING		---
TYPE B CURB INLET (PVT)		[Symbol]
STORM DRAIN CLEAN OUT (PVT)		[Symbol]
PROPERTY LINE		---
(PVT) 4" / 6" WATER MAIN		W
(PVT) 6" / 8" FIRE MAIN		FS
6" FIRE HYDRANT ASSY. (PVT)		[Symbol]
FIRE BACKFLOW (PVT)		[Symbol]
4" / 6" FIRE SERVICE LATERAL (PVT) (PVC SCHEDULE 80)		[Symbol]
4" / 6" / 8" PVC SEWER MAIN (PVT, SDR-35)		S
4" / 6" SEWER LATERAL (PVT) (SDR-35)		[Symbol]
SEWER CLEANOUT (PVT)		[Symbol]
(PVT) 6" CURB TYPE "G-1"		[Symbol]
(PVT) PCC SIDEWALK		[Symbol]
(PVT) PEDESTRIAN RAMP		[Symbol]
CONCRETE DRIVEWAY		[Symbol]
(PVT) RETAINING WALL		[Symbol]
(PVT) STORM DRAIN (12" / 18" / 24")		[Symbol]
PERVIOUS PAVERS		[Symbol]
AC PAVING		[Symbol]

LEGEND

EXISTING ITEM	SYMBOL
CONTOURS	274
EASEMENT	---
SEWER MAIN	S
WATER LINE	W
RECYCLED WATER	RW
SEWER MANHOLE	[Symbol]
WATER VALVE	[Symbol]
CURB	[Symbol]
SIDEWALK	---
CURB & GUTTER	[Symbol]
THRUST BLOCK	[Symbol]
FIRE HYDRANT	[Symbol]
STREET LIGHT	[Symbol]
GAS MAIN	G
ELECTRICAL	E
FIBER OPTICS	FO
6" FIRE HYDRANT ASSY. (PVT)	[Symbol]
RECYCLED WATER SEVICE	[Symbol]
BROW DITCH (PVT)	[Symbol]
PEDESTRIAN RAMP	[Symbol]

ABBREVIATIONS

VC	VERTICAL CURVE	GV	GATE VALVE
BC	BEGIN CURVE	FH	FIRE HYDRANT
BVC	BEGIN VERTICAL CURVE	C.O.	CLEAN OUT
EVC	END VERTICAL CURVE	MH	MANHOLE
FG	FINISH GRADE	DWY	DRIVEWAY
EG	EXISTING GROUND	TP	TOP OF PIPE
FL	FLOW LINE	IE	INVERT ELEVATION
TG	TOP OF GRATE	MIN	MINIMUM
TC	TOP OF CURB	MAX	MAXIMUM
BW	BACK OF WALK/BOTTOM OF WALL	FF	FINISH FLOOR
HP	HIGH POINT	PE	PAD ELEVATION
LP	LOW POINT	AC	ASPHALT CONCRETE
LT	LEFT	PVC	POLYVINYL CHLORIDE
RT	RIGHT	TW	TOP OF WALL
CL	CENTERLINE	TF	TOP OF FOOTING
EX.	EXISTING	FS	FINISH SURFACE
B.O.	BLOW OFF	PL	PROPERTY LINE
T.B.	THRUST BLOCK	SD	STORM DRAIN
TB	TOP OF BERM		

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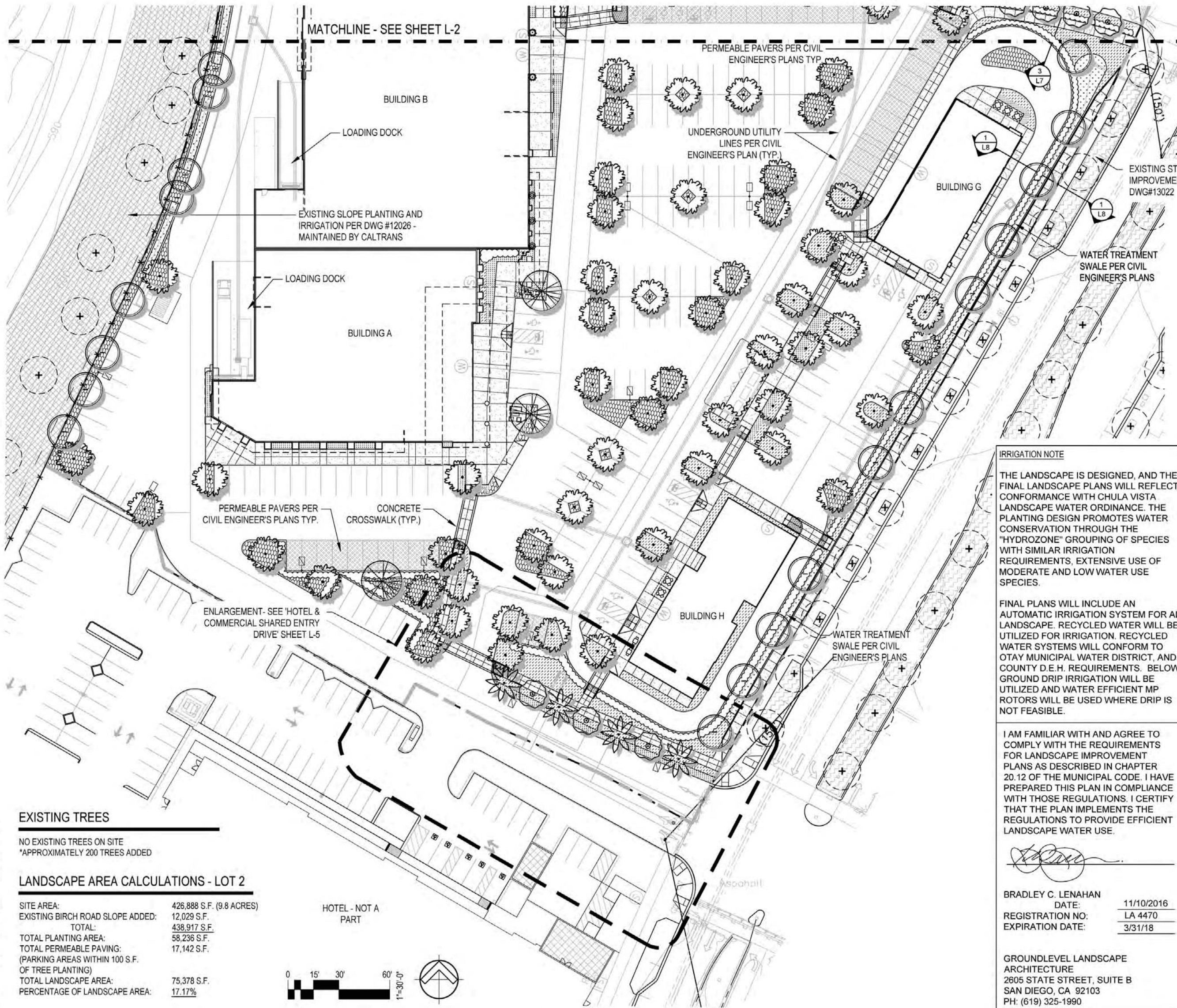
RICK ENGINEERING COMPANY
5620 FRIARS ROAD
SAN DIEGO, CA 92110
619-291-0707
619-291-4165
rickengineering.com



Millenia Lots 2 & 3
Chula Vista, California

Project Name:	Millenia Lots 2 & 3
Sheet Title:	NOTES AND DETAILS
Revision 05:	
Revision 04:	11/10/16
Revision 03:	9/9/16
Revision 02:	6/24/16
Revision 01:	3/16/16
Original Date:	3/16/16
Sheet	12 of 46
DEP#	

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11-20-2016 11:11



DESIGN CONCEPT

THE LANDSCAPE DESIGN CONCEPT FOR THE PROJECT CAN BE DESCRIBED AS HAVING A WARM AND FRIENDLY MODERN AESTHETIC THAT SUPPORTS THE MILLENIA COMMUNITY'S GREATER MODERN ARCHITECTURAL THEME. LOT 2 AND LOT 3 WILL SHARE THE SAME DESIGN TREATMENT TO REINFORCE THE PROJECT'S KEY ROLE FRAMING THE GATEWAY INTO THE COMMUNITY. THE SHRUB AND GROUND COVER PALETTE INCLUDES A COMBINATION OF BOTH WOODY AND SUCCULENT LOW AND MODERATE WATER-USE PLANTS THAT WILL PROVIDE A VISUALLY STIMULATING, YET DURABLE COMBINATIONS OF COLOR AND TEXTURE THROUGH FLOWERS AND FOLIAGE. COMFORTABLE SHADE WILL BE PROVIDED BY A MIXTURE OF EVERGREEN AND DECIDUOUS FLOWERING TREES, INCLUDING MARINA STRAWBERRY, EVERGREEN ELM, AND PALO VERDE TREES WHILE THE PROJECT'S MAIN ENTRANCE AT LOT 2 AND KEY INTERSECTION AT LOT 3 WILL BE DEFINED BY MAJESTIC DROUGHT TOLERANT DATE PALMS. PEDESTRIAN PATIOS FOR OUTDOOR DINING AND COMMUNITY GATHERING WILL INCLUDE COLORED CONCRETE PAVING, SPECIMEN CANOPY SHADE TREES, AND A MIXTURE OF SEATING OPPORTUNITIES. THESE PATIO SPACES AT LOT 2 WILL CONNECT DIRECTLY TO THE COMMUNITY TRAIL ALONG MILLENIA AVENUE. PEDESTRIAN CORRIDORS THROUGH THE PARKING FIELDS WILL BE VISUALLY REINFORCED BY THE USE OF SPECIFIC PLANT MATERIALS THAT HIGHLIGHT THEIR IMPORTANT ROLE IN CREATING A PEDESTRIAN FRIENDLY ENVIRONMENT. PARKING FIELDS WILL BE SCREENED FROM PUBLIC VIEWS ALONG MILLENIA AVENUE AND BIRCH ROAD BY EVERGREEN HEDGES, WHILE THE PROJECT'S BUILDING MASS AS VIEWED FROM SR-125 WILL BE VISUALLY LAYERED BY STAGGERED GROUPINGS OF EVERGREEN CANOPY TREES. THESE ELEMENT WHEN COMBINED WITH THE PROJECT'S FRIENDLY, MODERN ARCHITECTURE WILL CREATE A SPECIAL GATHERING/SOCIAL PLATE WITHIN THE COMMUNITY THAT GOES FAR BEYOND ITS FUNCTIONAL ROLE AS SHOPPING CENTER.

PLANT MATERIAL LEGEND

- Patio Canopy Trees**
48" BOX MIN. SIZE, SUCH AS:
ARBUS UNEDO 'COMPACTA' - STRAWBERRY BUSH
PLATANUS RACEMOSA - CALIFORNIA SYCAMORE
OLEA EUROPEA - EUROPEAN OLIVE
ULMUS PARVIFOLIA - CHINESE ELM
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LOMANDRA LONGIFOLIA - DWARF MAT RUSH
- Planting Per Offsite Plans**
EXISTING OFFSITE PLANTING INSTALLED & MAINTAINED BY CALTRANS
EXISTING PLANTING INSTALLED AND MAINTAINED BY MASTER DEVELOPER
EXISTING SLOPE PLANTING - SLOPE PLANTING INSTALLED BY MASTER DEVELOPER. AREA TO BE TURNED OVER AND MAINTAINED BY SUBDEVELOPER. ADDITIONAL PLANTING TO BE ADDED TO SLOPES FOR SCREENING & REPLACEMENT OF DAMAGED PLANT MATERIAL.

IRRIGATION NOTE

THE LANDSCAPE IS DESIGNED, AND THE FINAL LANDSCAPE PLANS WILL REFLECT CONFORMANCE WITH CHULA VISTA LANDSCAPE WATER ORDINANCE. THE PLANTING DESIGN PROMOTES WATER CONSERVATION THROUGH THE "HYDROZONE" GROUPING OF SPECIES WITH SIMILAR IRRIGATION REQUIREMENTS, EXTENSIVE USE OF MODERATE AND LOW WATER USE SPECIES.

FINAL PLANS WILL INCLUDE AN AUTOMATIC IRRIGATION SYSTEM FOR ALL LANDSCAPE. RECYCLED WATER WILL BE UTILIZED FOR IRRIGATION. RECYCLED WATER SYSTEMS WILL CONFORM TO OTAY MUNICIPAL WATER DISTRICT, AND COUNTY D.E.H. REQUIREMENTS. BELOW GROUND DRIP IRRIGATION WILL BE UTILIZED AND WATER EFFICIENT MP ROTORS WILL BE USED WHERE DRIP IS NOT FEASIBLE.

I AM FAMILIAR WITH AND AGREE TO COMPLY WITH THE REQUIREMENTS FOR LANDSCAPE IMPROVEMENT PLANS AS DESCRIBED IN CHAPTER 20.12 OF THE MUNICIPAL CODE. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THE REGULATIONS TO PROVIDE EFFICIENT LANDSCAPE WATER USE.

BRADLEY C. LENAHA
DATE: 11/10/2016
REGISTRATION NO.: LA 4470
EXPIRATION DATE: 3/31/18

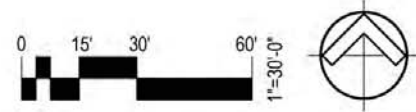
GROUNDLEVEL LANDSCAPE ARCHITECTURE
2605 STATE STREET, SUITE B
SAN DIEGO, CA 92103
PH: (619) 325-1990

EXISTING TREES

NO EXISTING TREES ON SITE
*APPROXIMATELY 200 TREES ADDED

LANDSCAPE AREA CALCULATIONS - LOT 2

SITE AREA:	426,888 S.F. (9.8 ACRES)
EXISTING BIRCH ROAD SLOPE ADDED:	12,029 S.F.
TOTAL:	438,917 S.F.
TOTAL PLANTING AREA:	58,236 S.F.
TOTAL PERMEABLE PAVING:	17,142 S.F.
(PARKING AREAS WITHIN 100 S.F. OF TREE PLANTING)	
TOTAL LANDSCAPE AREA:	75,378 S.F.
PERCENTAGE OF LANDSCAPE AREA:	17.17%



Andrew Hull Stevenson Architects
5465 Morehouse Drive, Suite 260
San Diego, California 92121
T 858.220.7224 F 858.546.3009



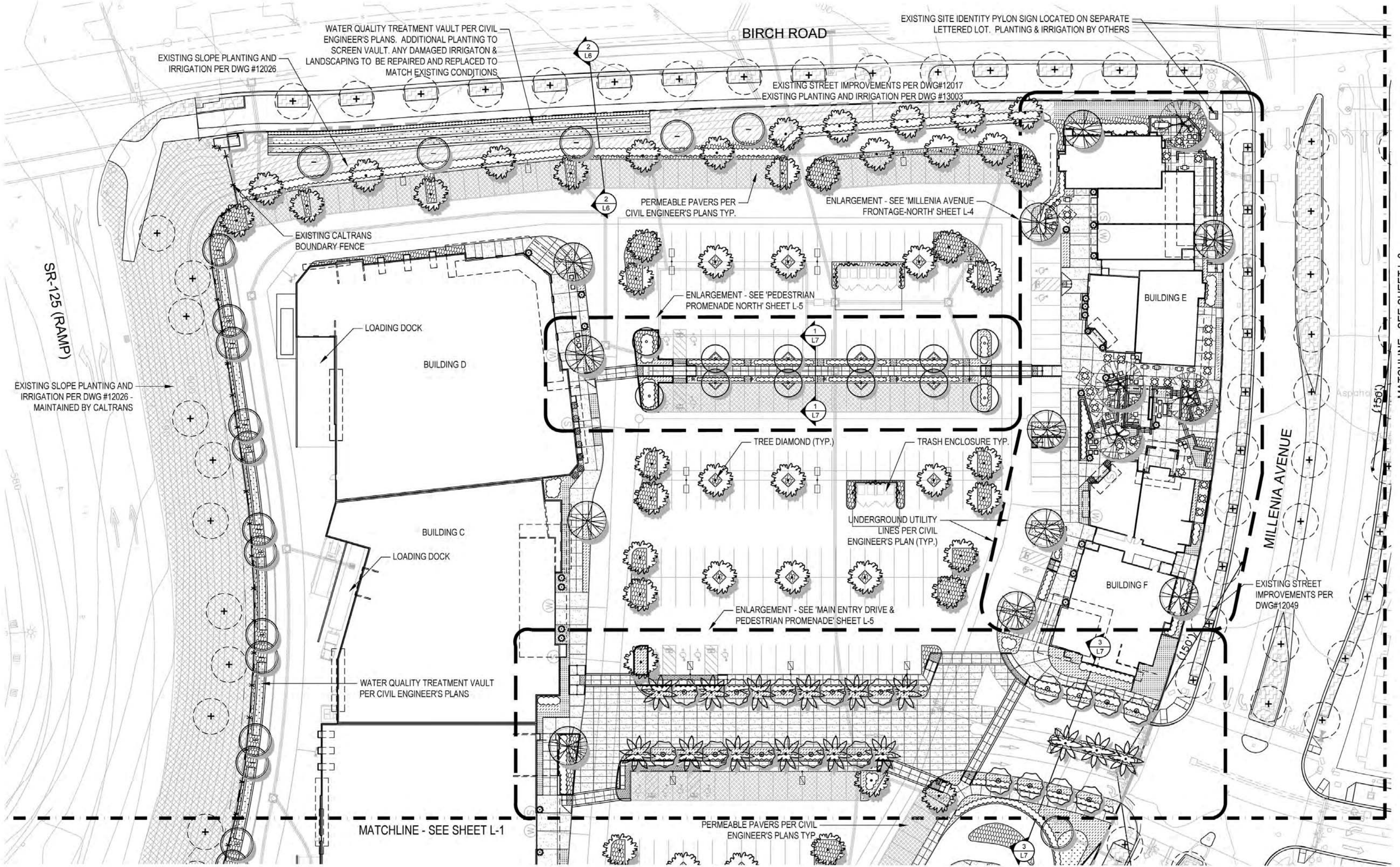
Millenia Lots 2 & 3
Chula Vista, California



Project Name:
Millenia Lots 2 & 3

Sheet Title:
L-1: Lot 2 Plan

Revision 05:	
Revision 04:	
Revision 03:	11/10/16
Revision 02:	09/09/16
Revision 01:	06/27/16
Original Date:	03/16/16
Sheet	13 of 46
DEP#	



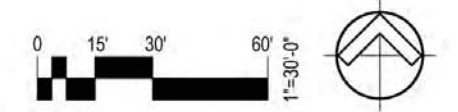
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SEE SHEET L-1 FOR PLANTING LEGEND



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 5465 Morehouse Drive, Suite 260
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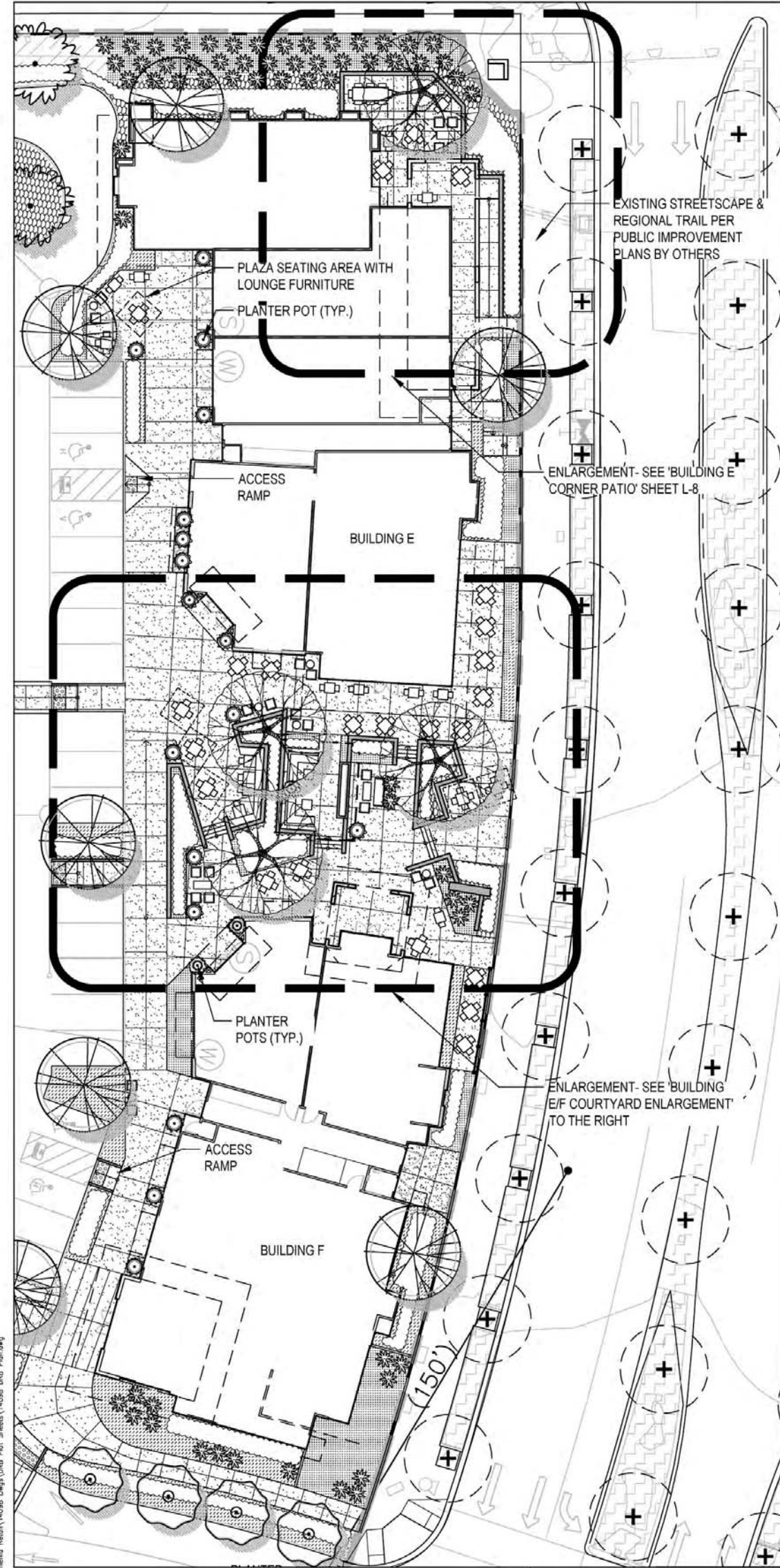
Millenia Lots 2 & 3
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Project Name:
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Sheet Title:
L-2: Lot 2 Plan

Revision 05:	
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Sheet	14 of 46
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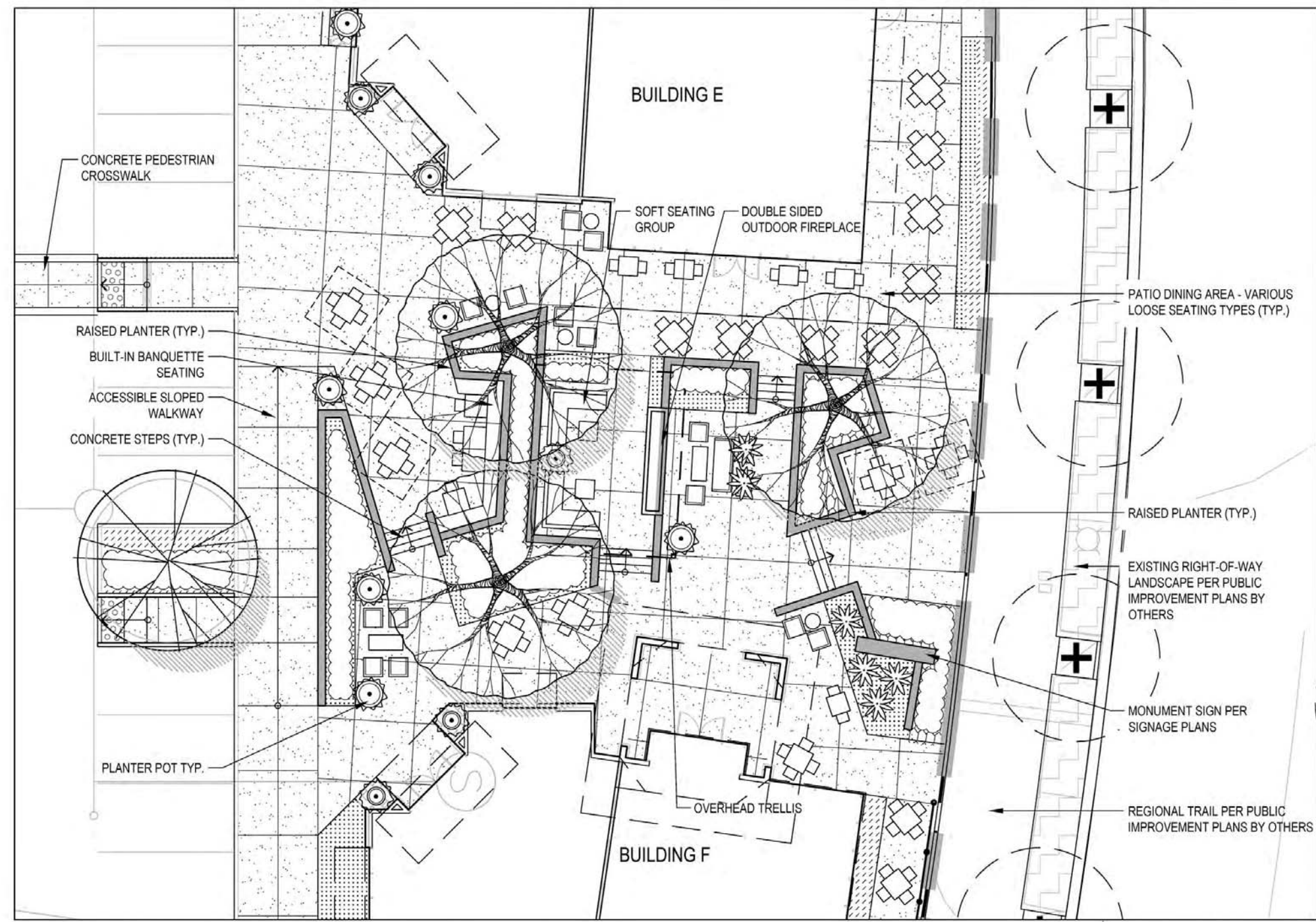
MILLENNIA AVENUE FRONTAGE - NORTH



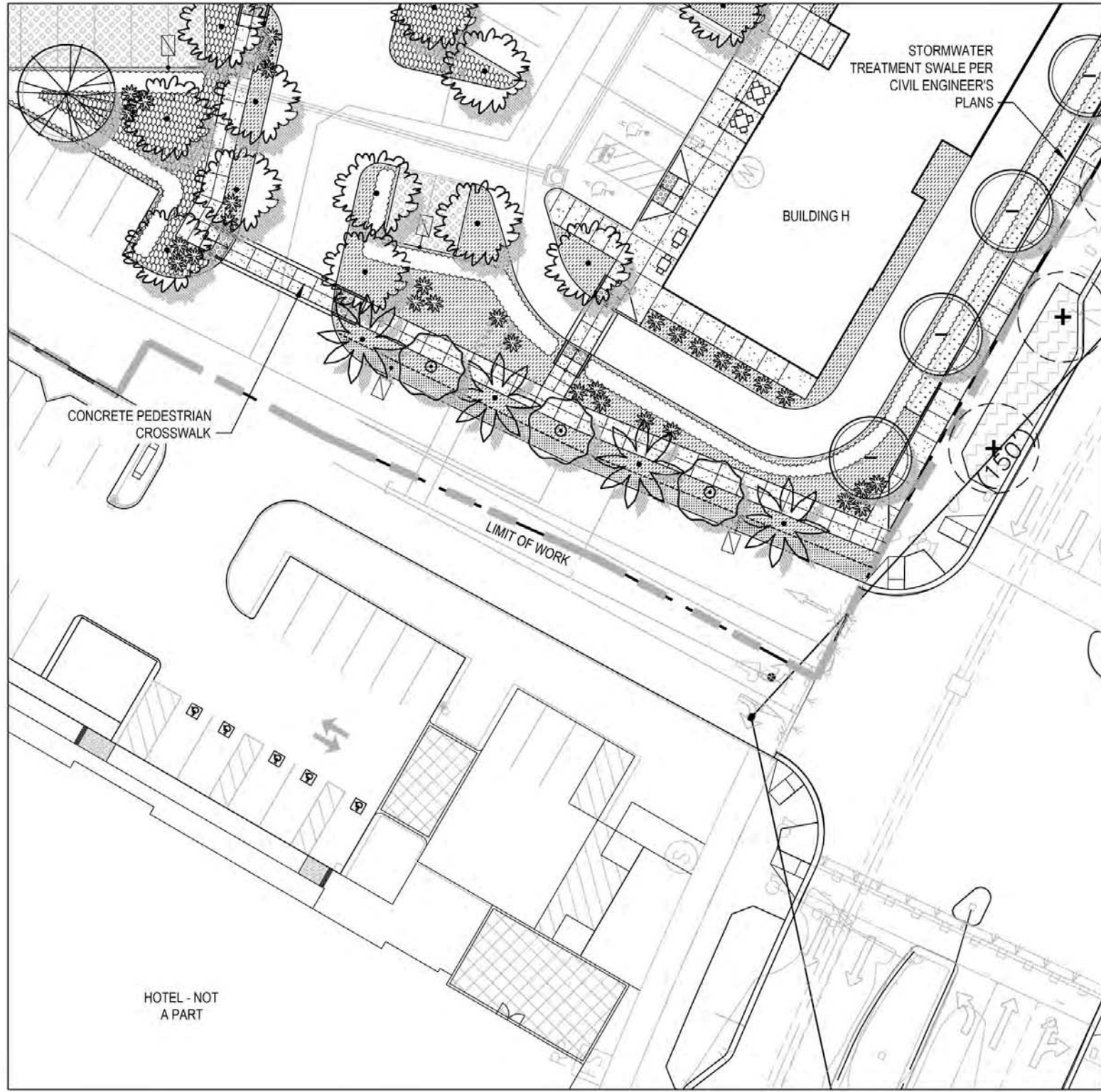
BUILDING E/F COURTYARD - VIEW FROM PARKING LOT



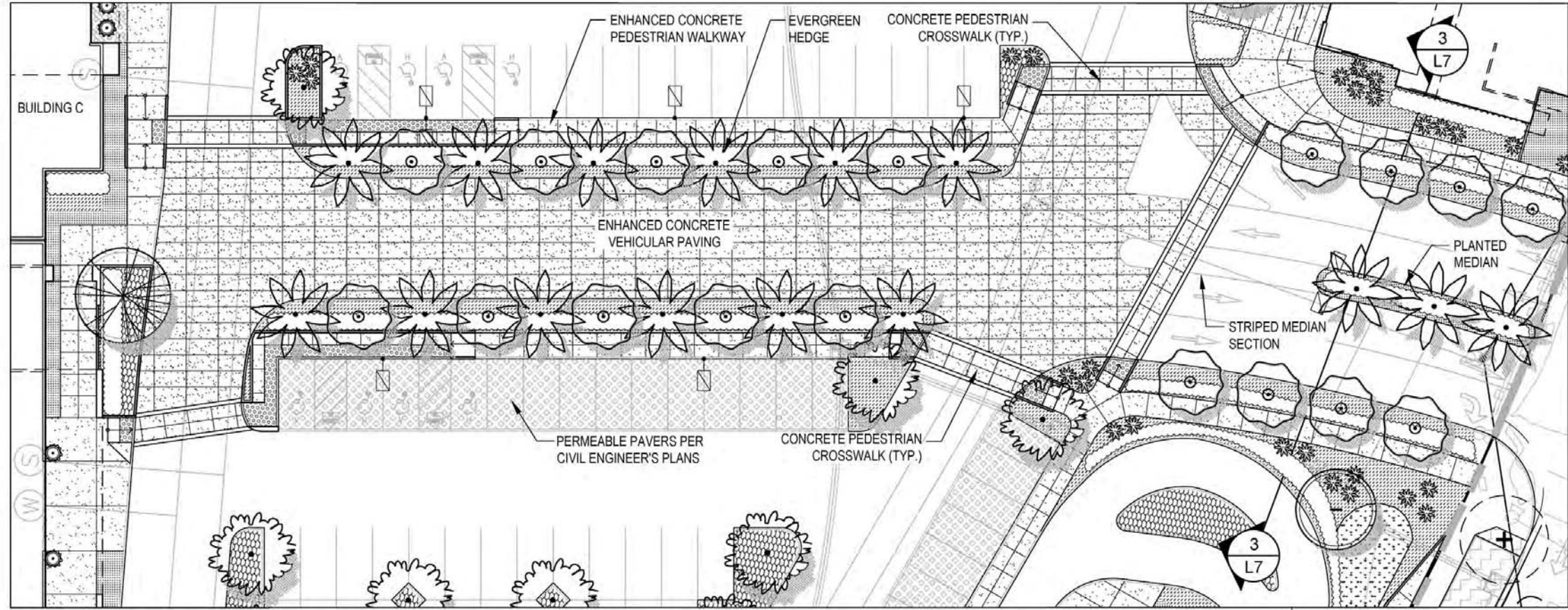
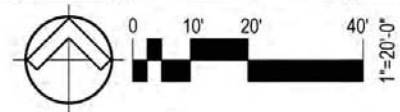
BUILDING E/F COURTYARD - VIEW FROM MILLENNIA AVENUE



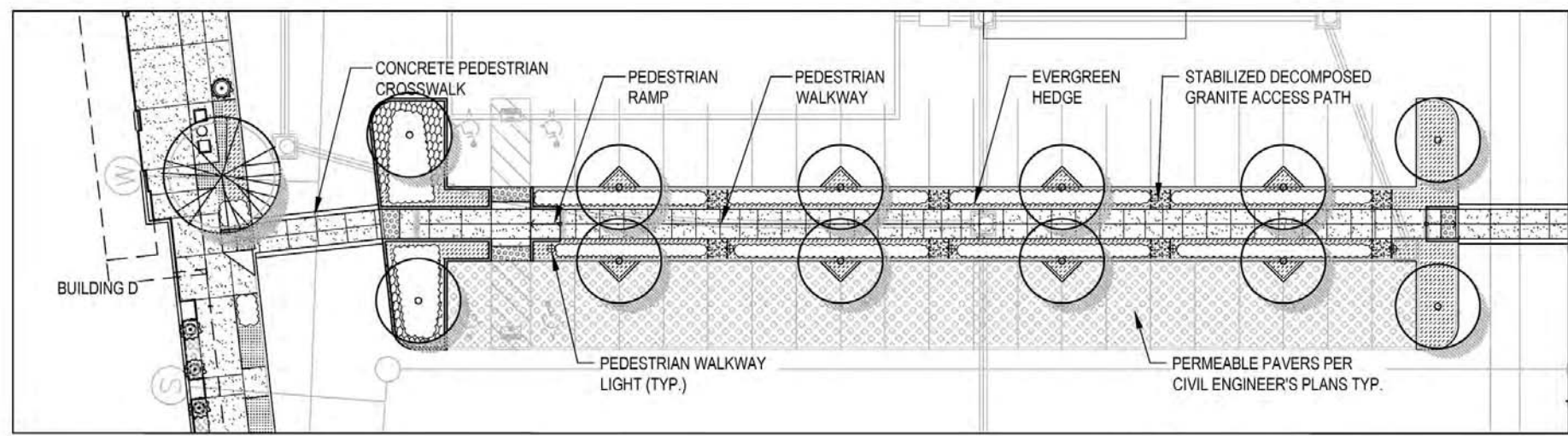
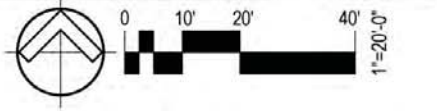
BUILDING E/F COURTYARD ENLARGEMENT



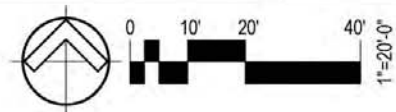
HOTEL & COMMERCIAL SHARED ENTRY DRIVE



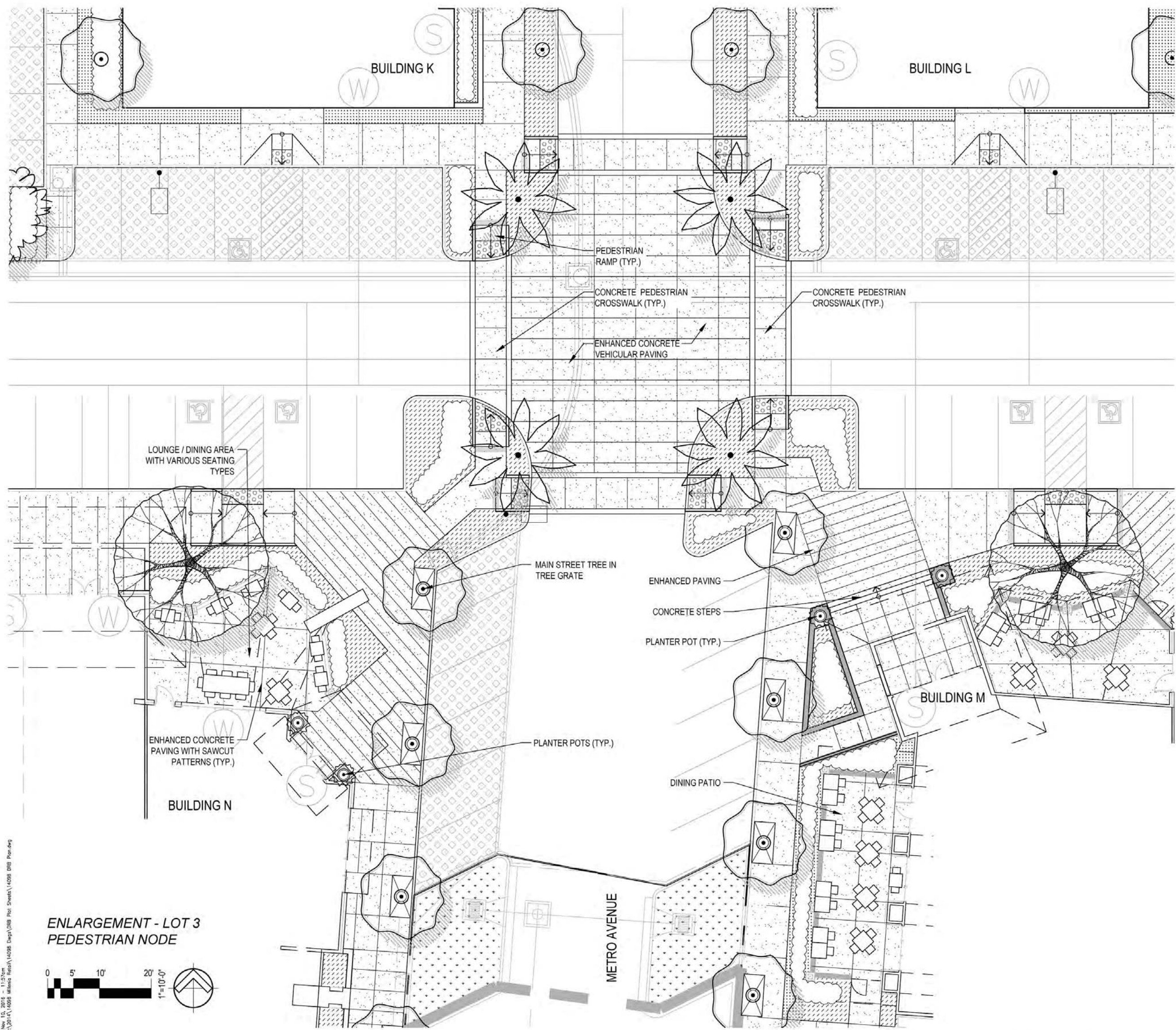
MAIN ENTRY DRIVE & PEDESTRIAN PROMENADE



PEDESTRIAN PROMENADE NORTH



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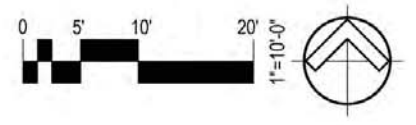
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EXISTING OFFSITE PLANTING INSTALLED & MAINTAINED BY CALTRANS
EXISTING PLANTING INSTALLED AND MAINTAINED BY MASTER DEVELOPER
EXISTING SLOPE PLANTING - SLOPE PLANTING INSTALLED BY MASTER DEVELOPER. AREA TO BE TURNED OVER AND MAINTAINED BY SADBERRY DEVELOPMENT. ADDITIONAL PLANTING TO BE ADDED TO SLOPE FOR SCREENING &

LANDSCAPE AREA CALCULATIONS - LOT 3	
TOTAL SITE AREA:	114,999 SF (2.64 ACRES)
TOTAL LANDSCAPE AREA:	12,817 SF
PERCENTAGE OF LANDSCAPE AREA:	11.15%

EXISTING TREES	
EXISTING TREES:	NO EXISTING TREES ON SITE

ENLARGEMENT - LOT 3
PEDESTRIAN NODE



Andrew Hull Stevenson Architects
5465 Morehouse Drive, Suite 260
San Diego, California 92121
T 858.220.7224 F 858.546.3009

Sudberry Development

Millenia Lots 2 & 3
Chula Vista, California

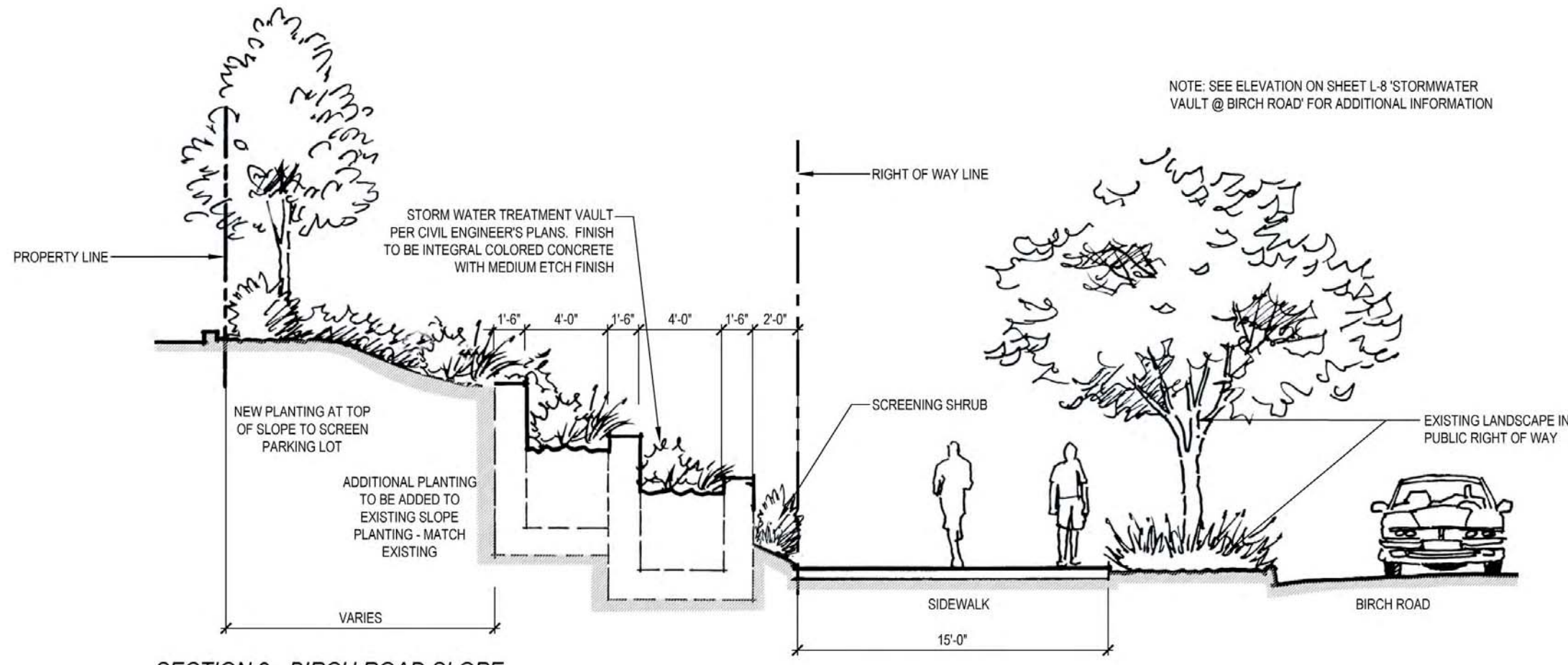
GROUNDLEVEL
Landscape Architecture
2405 State Street, Suite #
San Diego, CA 92103
(619) 325-1990
groundlevel.com

Project Name:
Millenia Lots 2 & 3

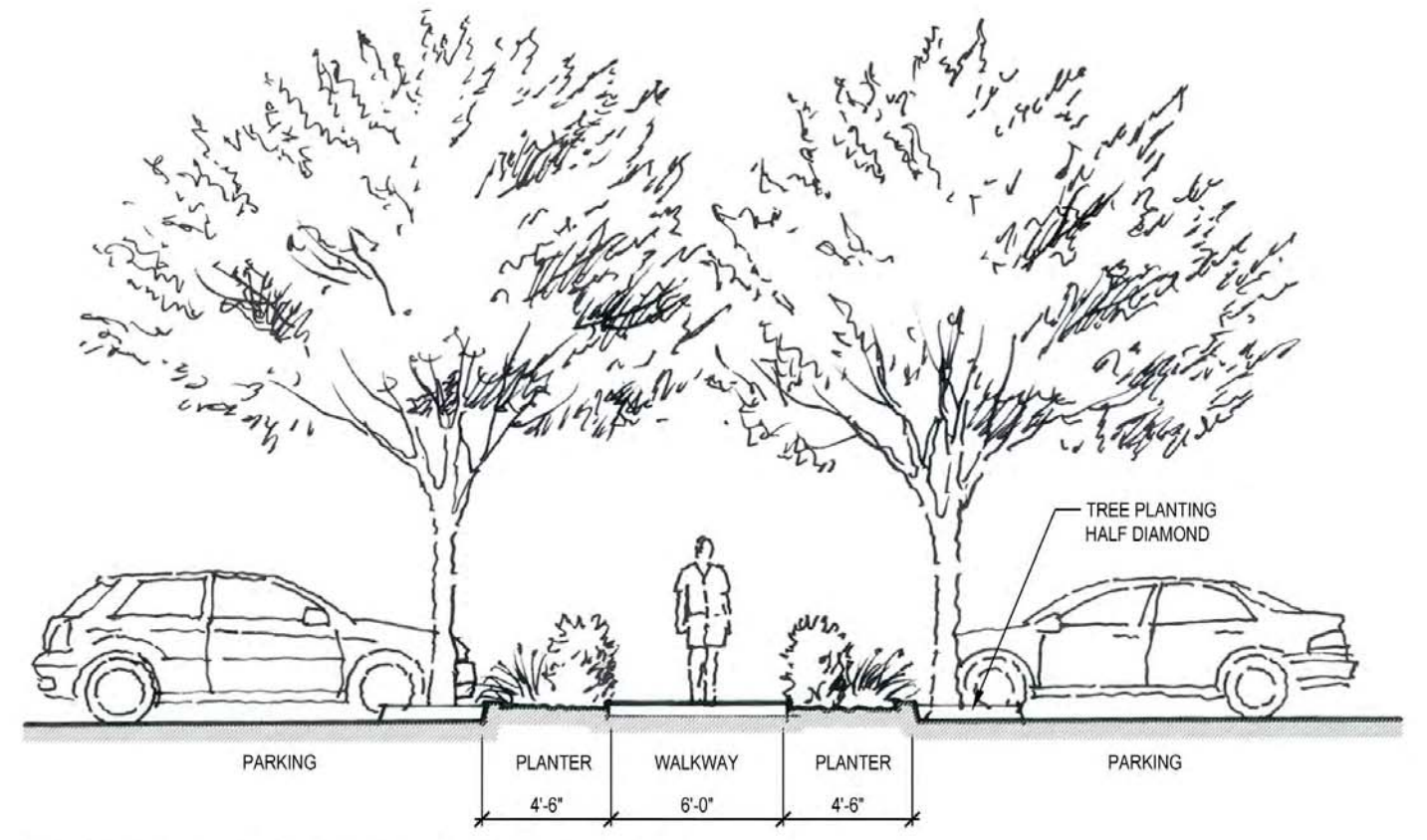
Sheet Title:
**L-6: Lot 3 Plan
Enlargement**

Revision 05:	
Revision 04:	
Revision 03:	11/10/16
Revision 02:	09/09/16
Revision 01:	06/27/16
Original Date:	03/16/16
Sheet	18 of 46
DEP#	

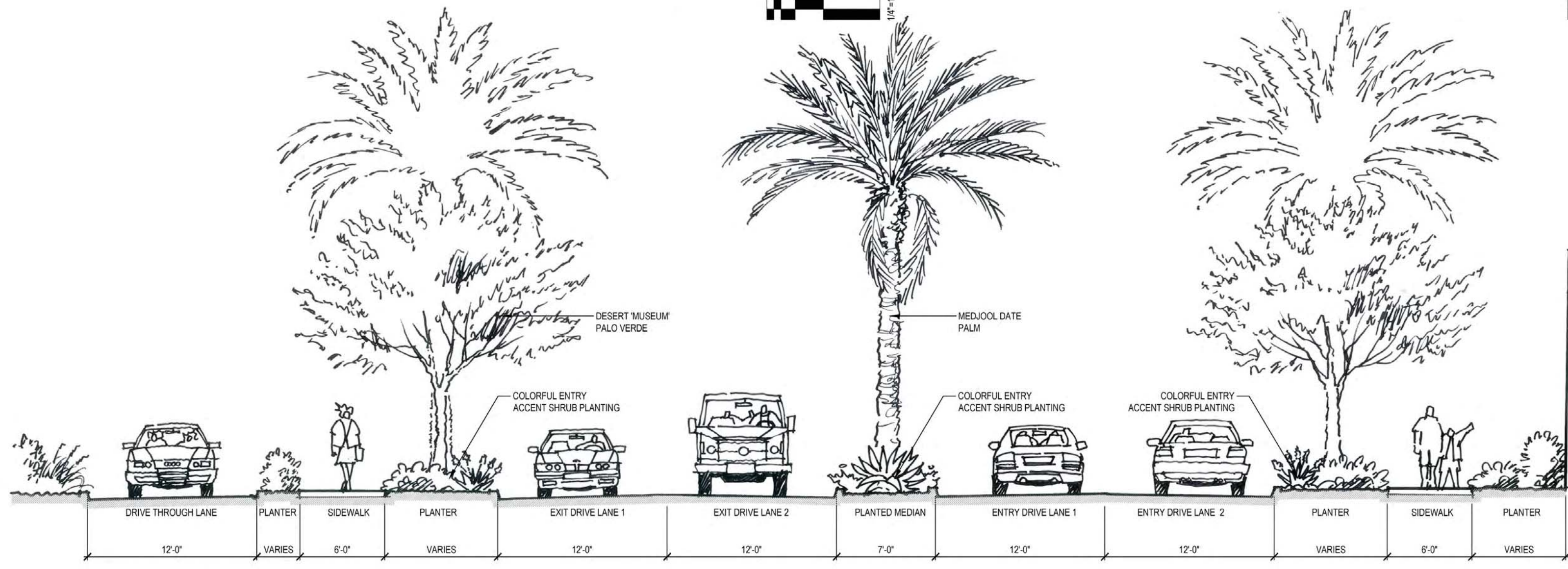
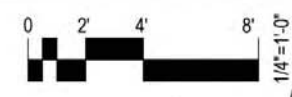
NOTE: SEE ELEVATION ON SHEET L-8 'STORMWATER VAULT @ BIRCH ROAD' FOR ADDITIONAL INFORMATION



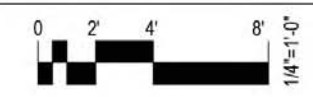
SECTION 2 - BIRCH ROAD SLOPE

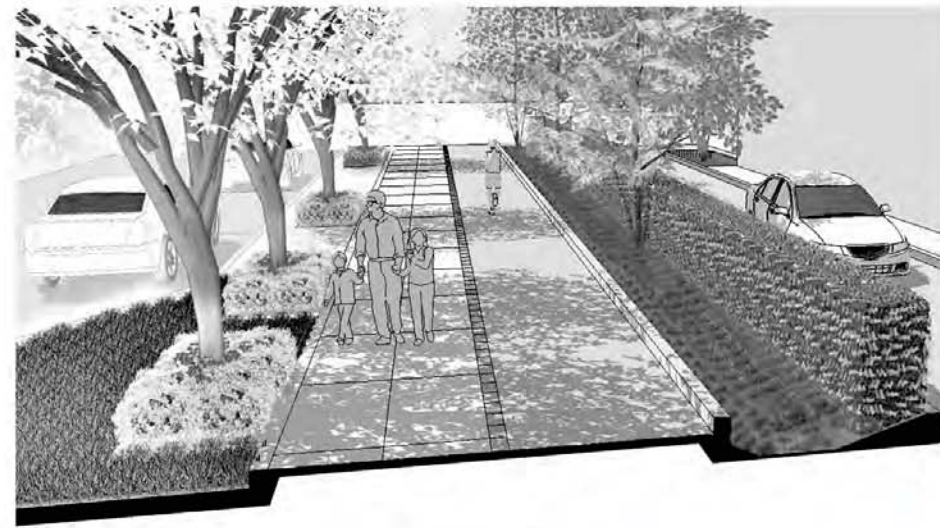


SECTION 1 - PEDESTRIAN PROMENADE NORTH

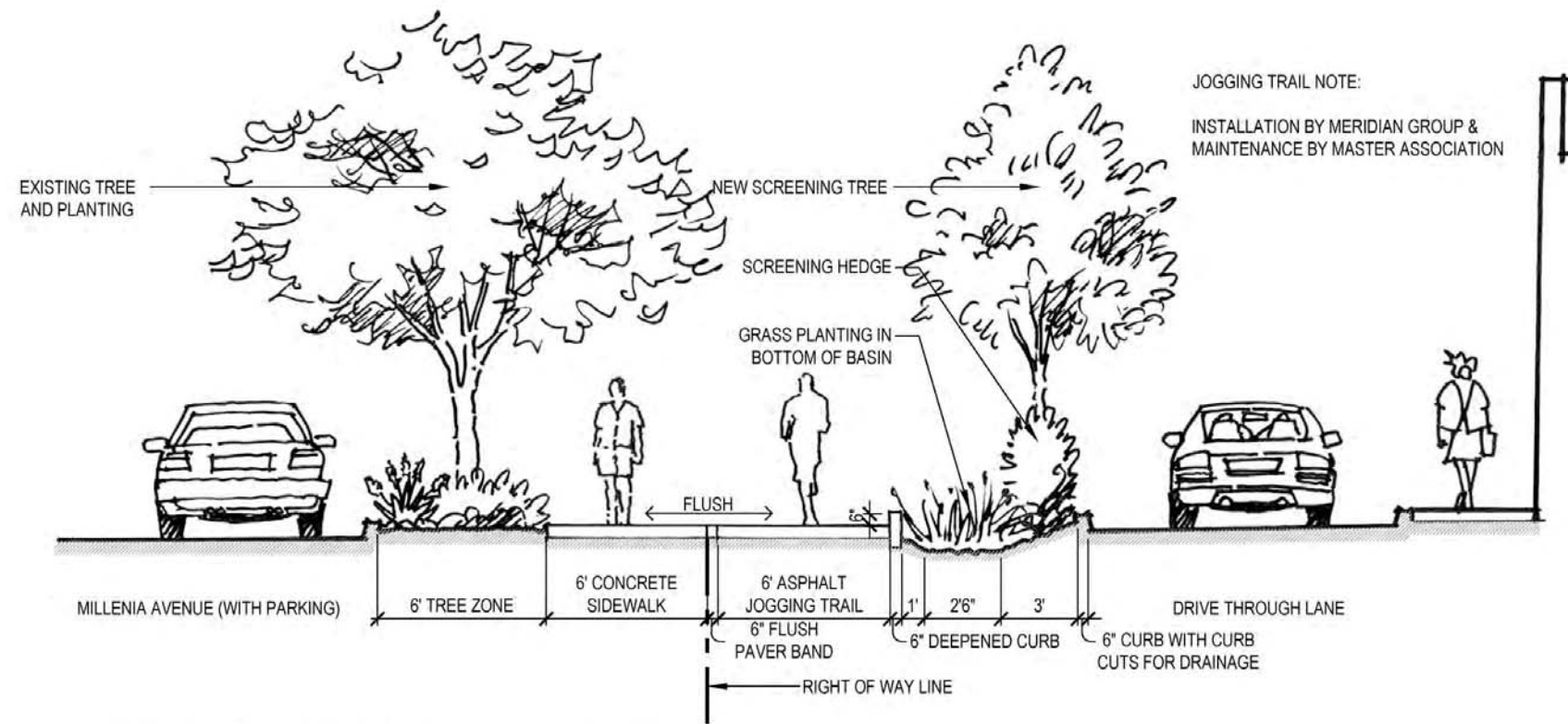


SECTION 3 - MAIN ENTRY DRIVE & PEDESTRIAN PROMENADE

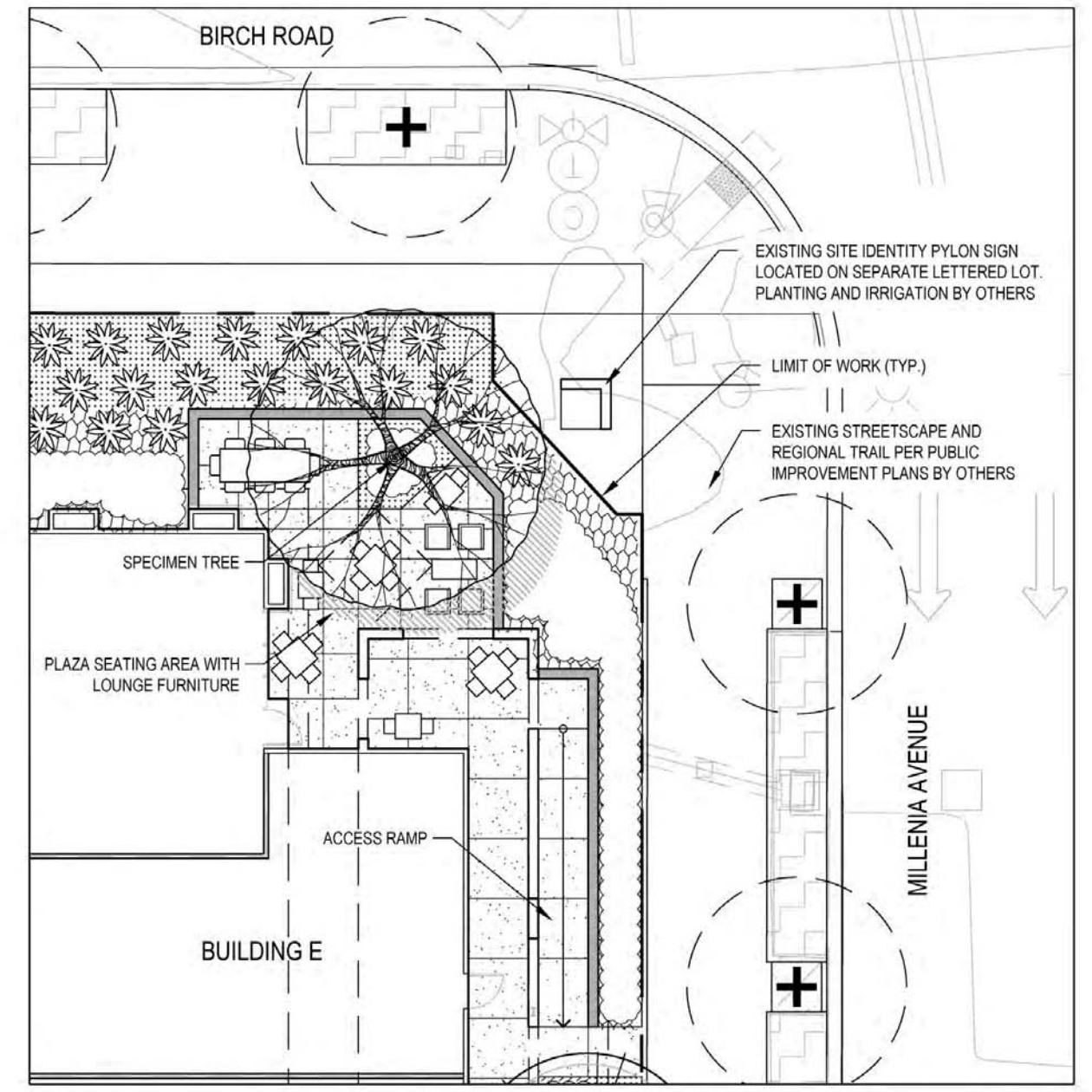
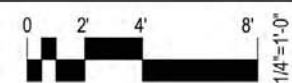




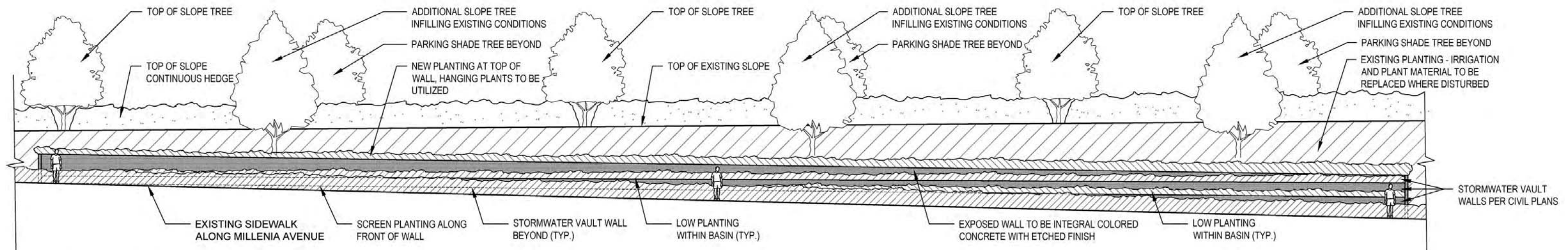
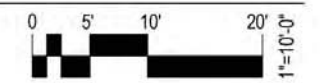
PERSPECTIVE - BASIN & JOGGING TRAIL



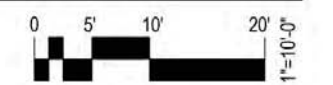
SECTION 1 - BASIN & JOGGING TRAIL SECTION

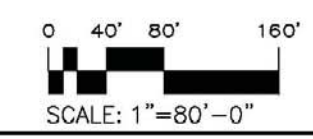



BUILDING E CORNER PATIO ENLARGEMENT



ELEVATION 1 - STORMWATER VAULT @ BIRCH ROAD





VICINITY MAP 
NTS

No. 13, 2016 - 10/20/2016
 C:\Users\jstevenson\OneDrive\Documents\2016\01\Millenia_SitePlan\08-REV.dwg

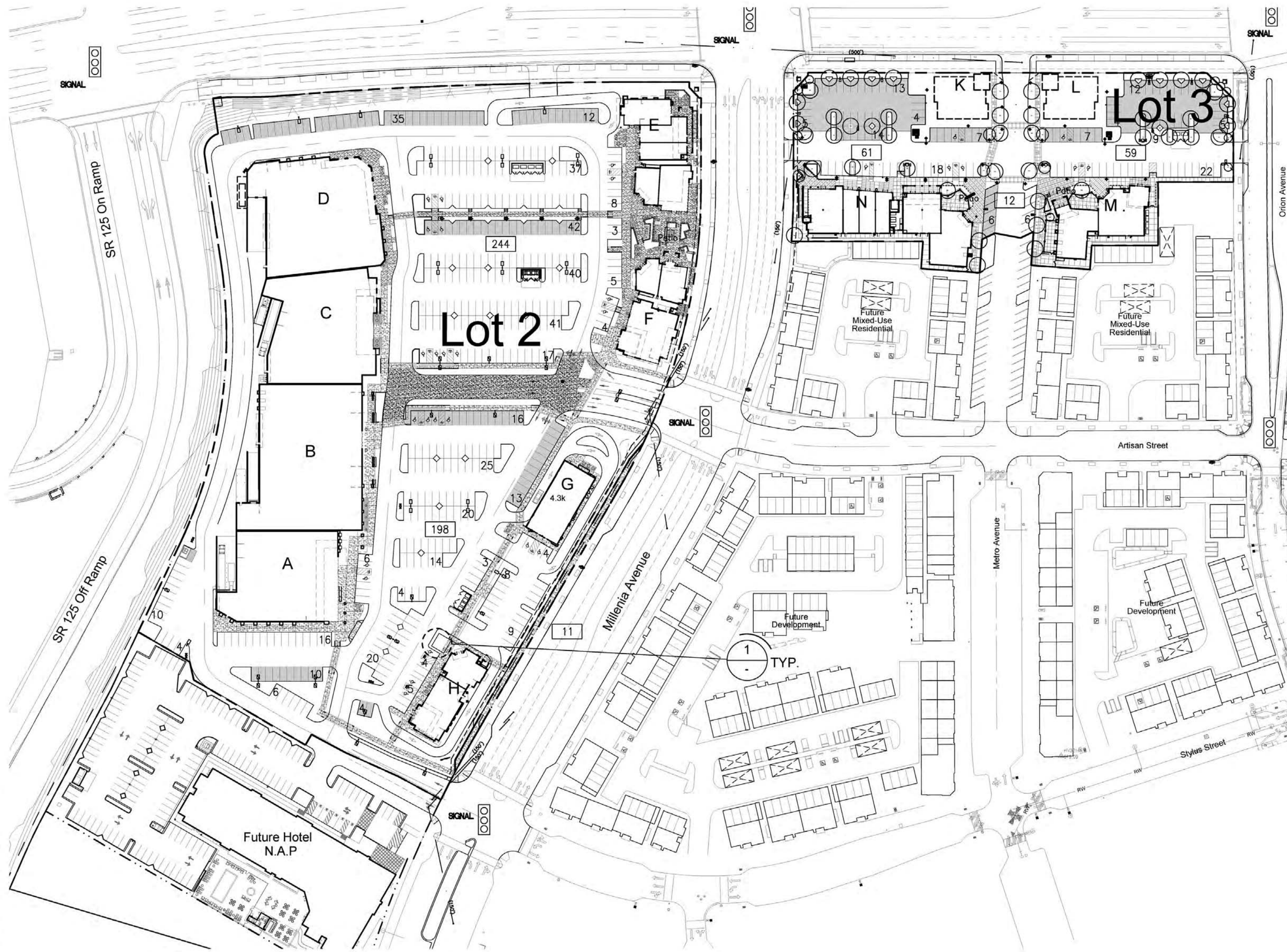
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Millenia Lots 2 & 3
 Chula Vista, California

Project Name:	Millenia Lots 2 & 3
Sheet Title:	SITE UTILIZATION PLAN
Original Date:	3/16/16
Sheet	21 of 46
DEP#	

Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16



SUMMARY

GROSS SITE AREA (LOT 2)	±439,520 SF. = 10.09 ACRES
GROSS SITE AREA (LOT 3)	±115,534 SF. = 2.65 ACRES
TOTAL BUILDING AREA (LOT 2)	±105,534 SF.
(LOT 3)	±25,267 SF.
LOT COVERAGE (LOT 2)	24.0%
(LOT 3)	22.0%

PARKING SUMMARY

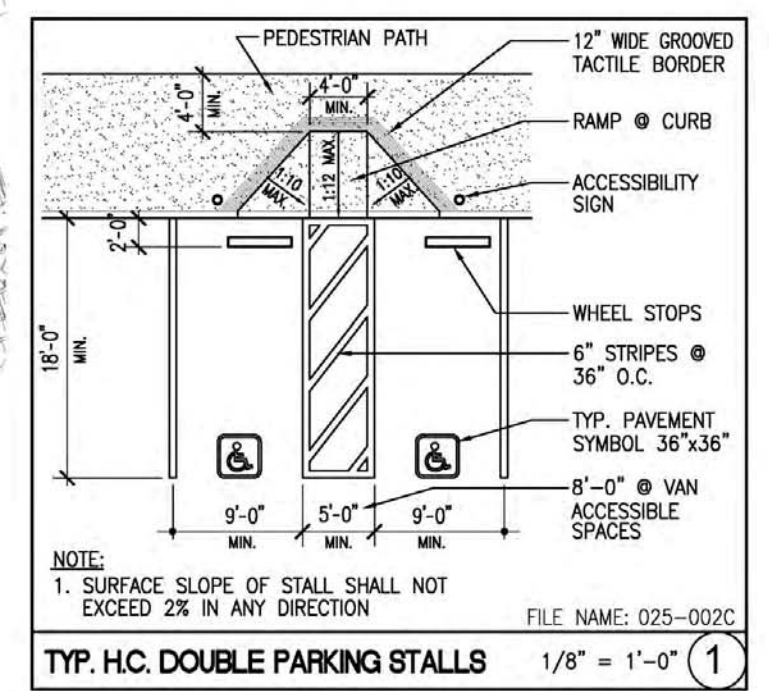
PARKING REQUIRED
(LOT 2 + 3) PER PARKING MANAGEMENT PLAN IN MILLENIA SPA

PARKING PROVIDED LOT 2:

STANDARD	9'-0" x 18'-0"	431 SPACES	94.7%
HANDICAP STALLS	9'-0" x 18'-0"	24 SPACES	5.3%
TOTAL		455 SPACES	100.0%

PARKING PROVIDED LOT 3:

STANDARD	9'-0" x 18'-0"	123 SPACES	94.6%
HANDICAP STALLS	9'-0" x 18'-0"	7 SPACES	5.4%
TOTAL		130 SPACES	100.0%



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Millenia Lots 2 & 3
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0 30' 60' 120'
 SCALE: 1"=60'-0"

REVISIONS

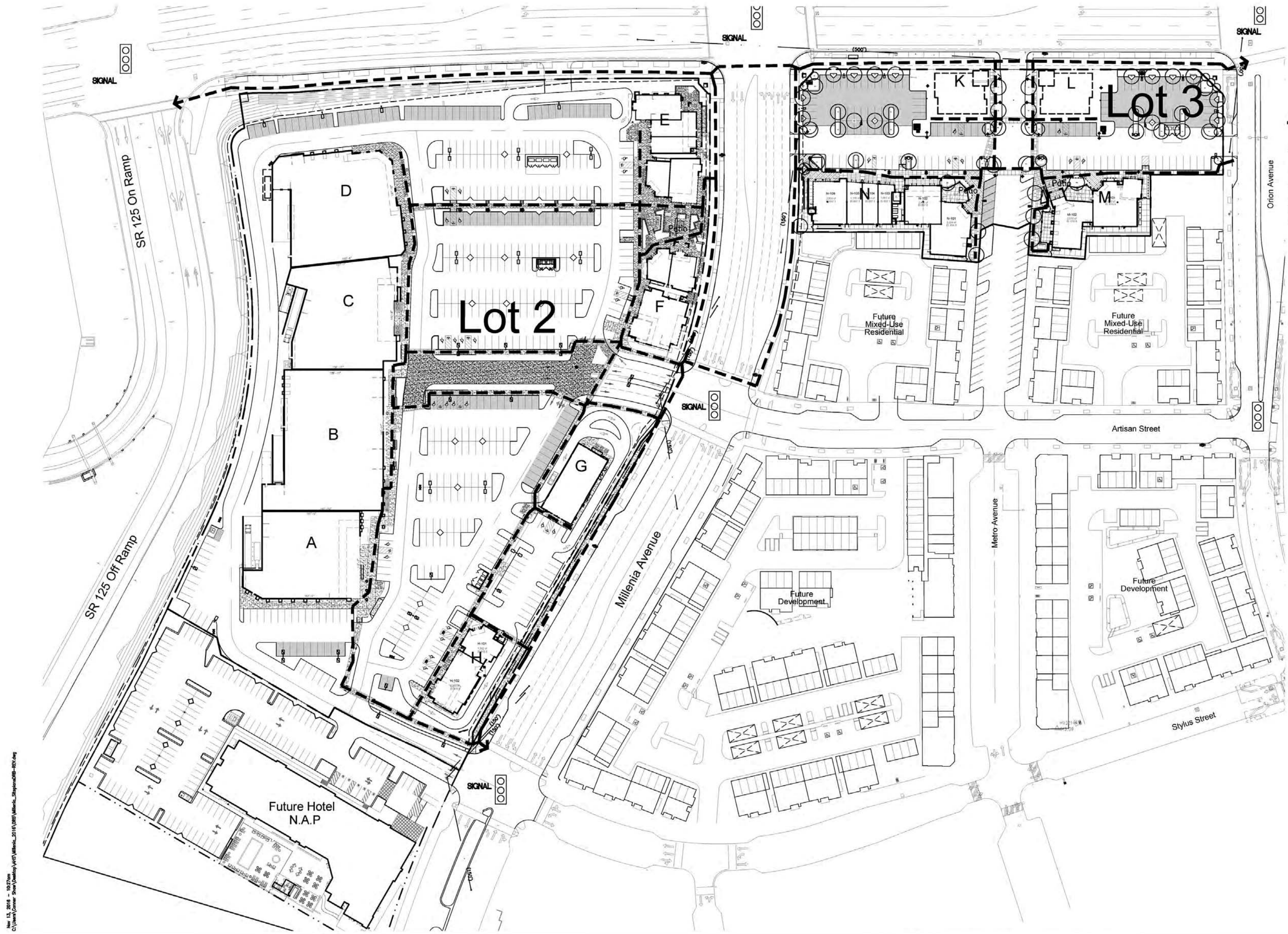
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Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16

Project Name: Millenia Lots 2 & 3

Sheet Title: **PARKING PLAN**

Sheet 22 of 46

DEP# _____



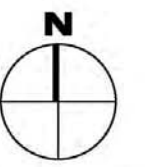
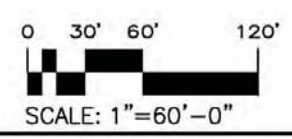
LEGEND

----- PEDESTRIAN PATH OF TRAVEL

◆NOTE: PEDESTRIAN PATH OF TRAVEL MUST COMPLY WITH THE REQUIREMENTS FOR ACCESSIBILITY: MAX 5% RUNNING SLOPE WITH A MAX OF 2% CROSS SLOPE.

LINE TYPE SYMBOLS

----- PROPERTY LINE



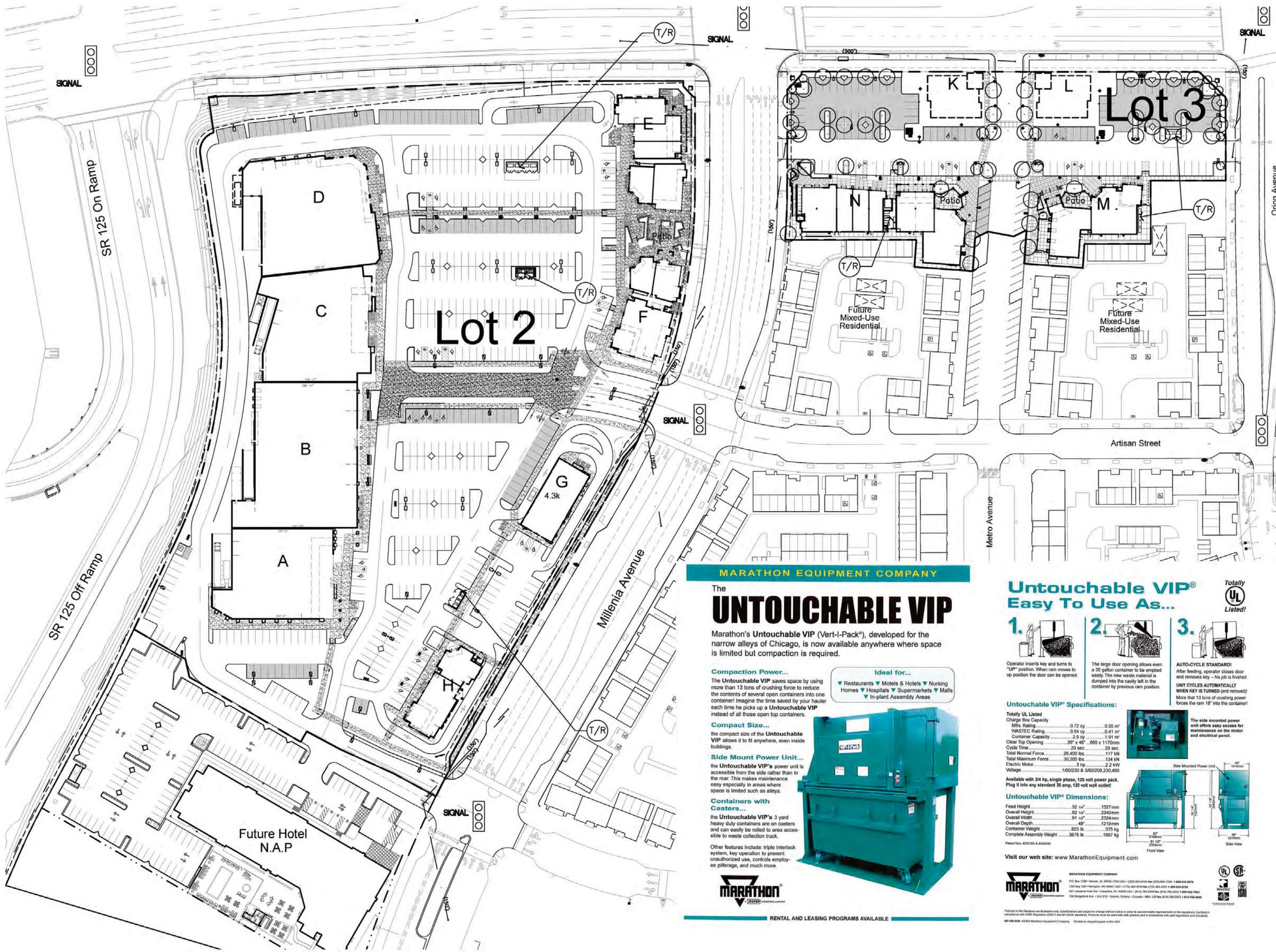
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Millenia Lots 2 & 3
 Chula Vista, California

Project Name:	Millenia Lots 2 & 3
Sheet Title:	PEDESTRIAN PLAN
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
Sheet	23 of 46
DEP#	_____

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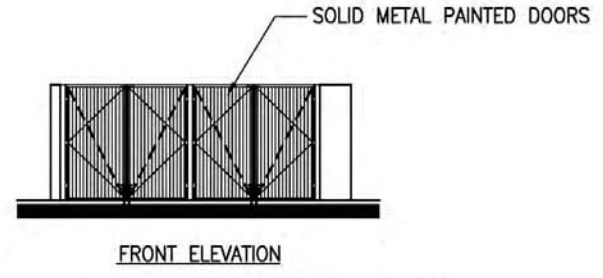
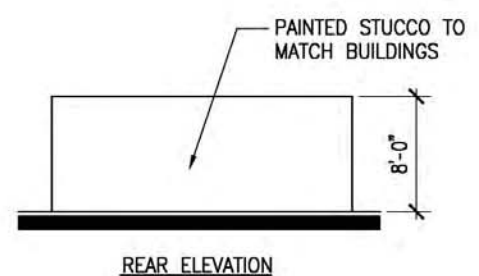
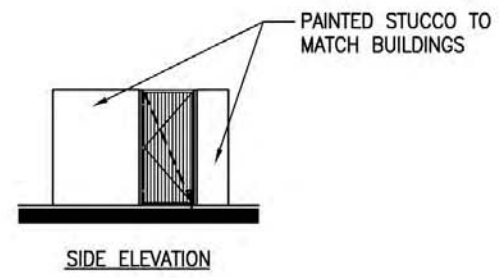
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(T/R) TRASH AND RECYCLING COMPACTOR ENCLOSURE LOCATIONS.

NOTE:
SEE DETAIL 1 ON THIS SHEET, AND DETAILS 1 AND 2 ON SHEET 25 FOR 2 BAY AND 4 BAY COMPACTOR ENCLOSURE INFORMATION

NOTES

1 EXACT QUANTITY AND CONFIGURATION OF TRASH AND RECYCLING AREAS WILL BE DETERMINED IN CONJUNCTION WITH THE CITY OF CHULA VISTA ENVIRONMENTAL SERVICES DEPARTMENT.



NOTE - SEE SHEET 25 AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION

TYP. TRASH ENCLOSURE ELEVATIONS

1/8"=1'-0"

MARATHON EQUIPMENT COMPANY

The **UNTOUCHABLE VIP**

Marathon's **Untouchable VIP** (Vert-I-Pack®), developed for the narrow alleys of Chicago, is now available anywhere where space is limited but compaction is required.

Compaction Power...
The **Untouchable VIP** saves space by using more than 13 tons of crushing force to reduce the contents of several open containers into one container! Imagine the time saved by your hauler each time he picks up a **Untouchable VIP** instead of all those open top containers.

Compact Size...
The compact size of the **Untouchable VIP** allows it to fit anywhere, even inside buildings.

Side Mount Power Unit...
The **Untouchable VIP's** power unit is accessible from the side rather than in the rear. This makes maintenance easy especially in areas where space is limited such as alleys.

Containers with Casters...
The **Untouchable VIP's** 3 yard heavy duty containers are on casters and can easily be rolled to areas accessible to waste collection truck.

Other features include: triple interlock system, key operation to prevent unauthorized use, controls employee pilferage, and much more.

Ideal for...

- Restaurants
- Hotels
- Nursing Homes
- Hospitals
- Supermarkets
- Malls
- In-plant Assembly Areas

MARATHON

RENTAL AND LEASING PROGRAMS AVAILABLE

Untouchable VIP®
Easy To Use As...

- Operator inserts key and turns to "UP" position. When ram moves to up position the door can be opened.
- The large door opening allows even a 30 gallon container to be emptied easily. The new waste material is dumped into the cavity left in the container by previous ram position.
- AUTO-CYCLE STANDARD!** After feeding, operator closes door and removes key - his job is finished. **UNIT CYCLES AUTOMATICALLY WHEN KEY IS TURNED (and removed)** More than 13 tons of crushing power forces the ram 18" into the container!

Untouchable VIP® Specifications:

Totally UL Listed

Charge Box Capacity
Mfrs. Rating 0.77 cy 0.55 m³
WASTE Rating 0.54 cy 0.41 m³
Container Capacity 2.5 cy 1.91 m³
Clear Top Opening 30" x 46" 600 x 1170mm
Cycle Time 20 sec 29 sec
Total Normal Force 26,400 lbs 117 kN
Total Maximum Force 30,200 lbs 134 kN
Electric Motor 3 hp 2.2 kW
Voltage 1600/230 & 3600/208/230/480

Available with 3/4 hp, single phase, 120 volt power pack. Plug it into any standard 20 amp, 120 volt wall outlet!

Untouchable VIP® Dimensions:

Feed Height 52 1/4" 1327 mm
Overall Height 92 1/4" 2340 mm
Overall Width 91 1/2" 2314 mm
Overall Depth 48" 1219 mm
Container Weight 825 lb 375 kg
Complete Assembly Weight 3875 lb 1757 kg

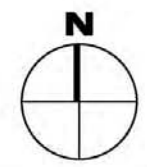
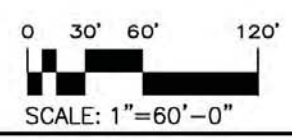
Patent Nos. 435555 & 4424140

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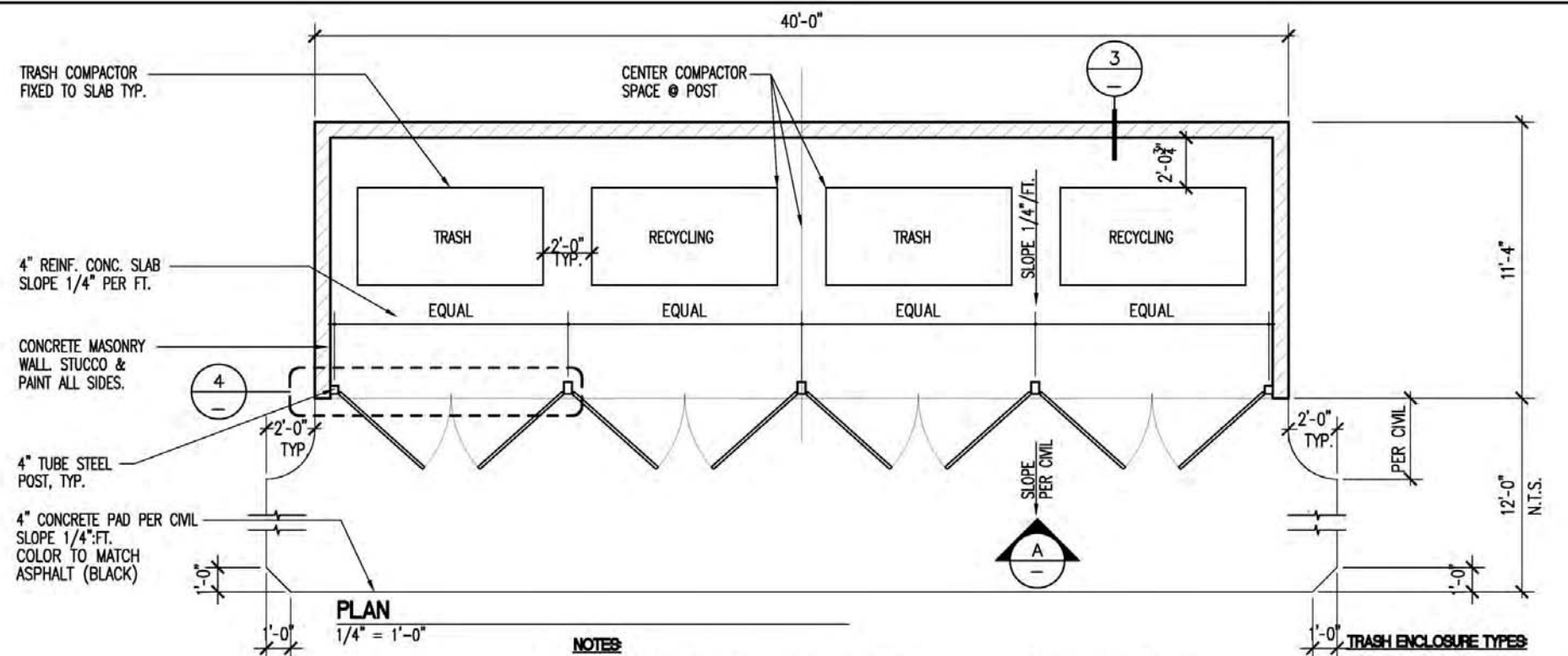


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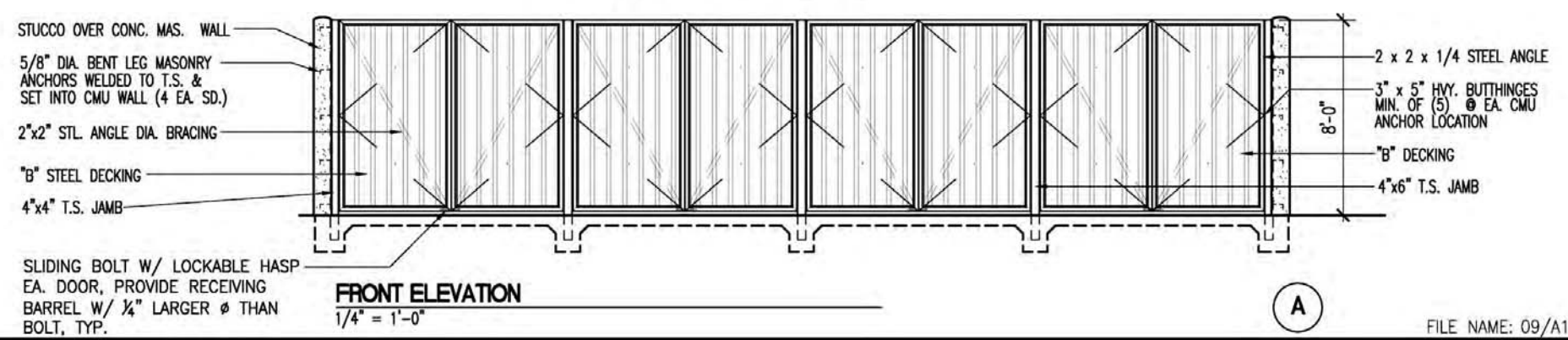


Millenia Lots 2 & 3
Chula Vista, California

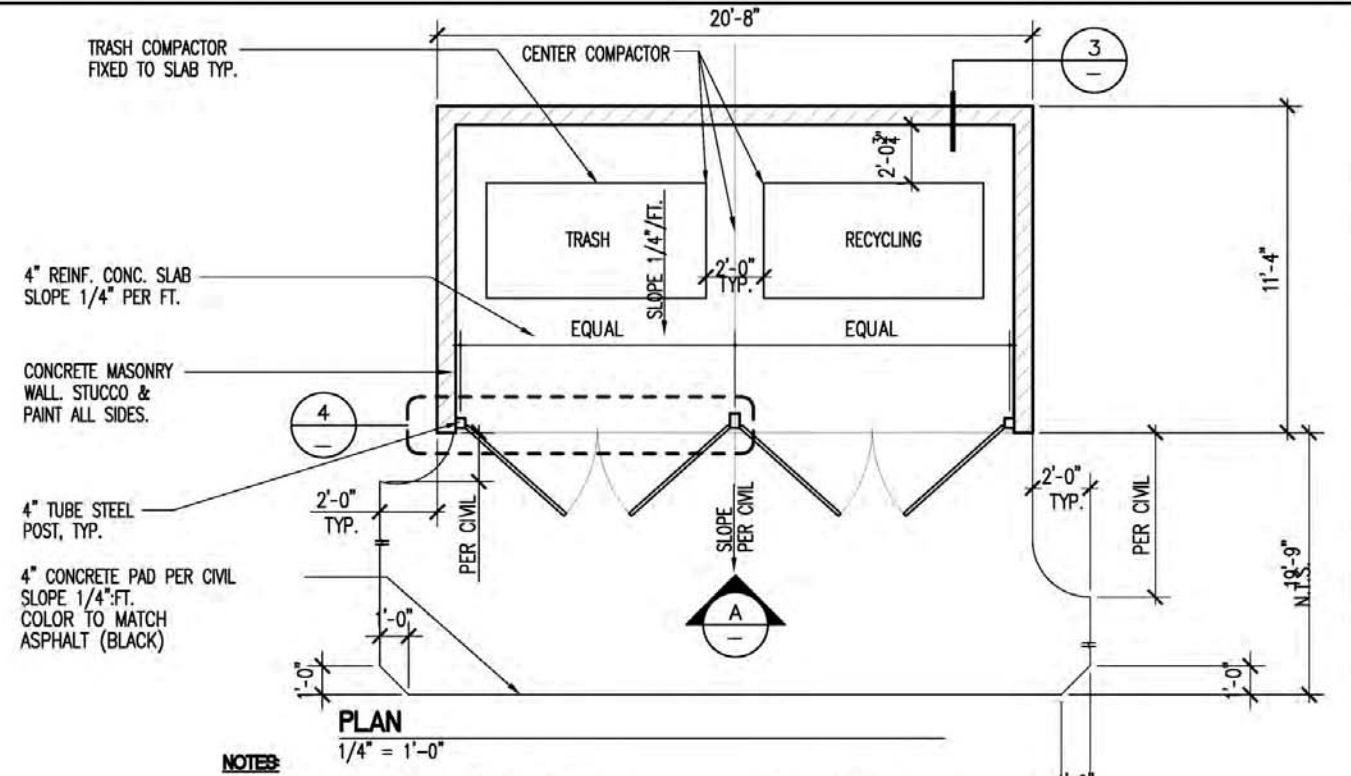
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Sheet Title:	TRASH & RECYCLING SITE PLAN	Revision 04:	_____
Revision 03:	11/10/16	Revision 02:	9/09/16
Revision 01:	6/24/16	Revision 01:	6/24/16
Original Date:	3/15/16	Original Date:	3/15/16
Sheet	24 of 46	Sheet	24 of 46
DEP#	_____	DEP#	_____



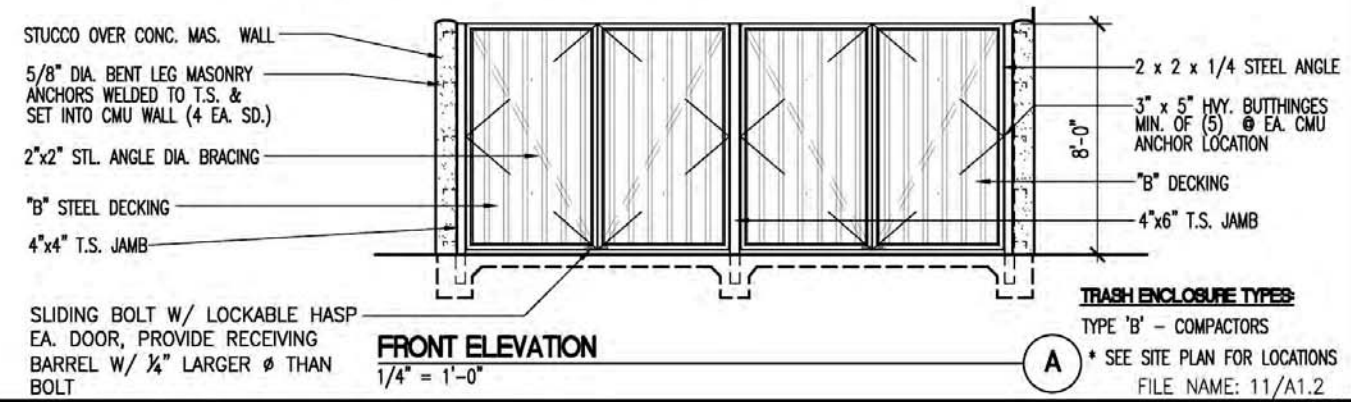
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 2. PAINT ALL EXPOSED METAL TO MATCH ENCLOSURE WALLS.
 3. PAINT ALL STUCCO PER ARCHITECT
 4. SEE CIVIL & ELECTRICAL FOR UTILITY REQUIREMENTS.
 5. SEE SITE PLANS FOR ORIENTATION & DOORS.
- TRASH ENCLOSURE TYPES**
TYPE 'A' - COMPACTORS
* SEE SITE PLAN FOR LOCATIONS



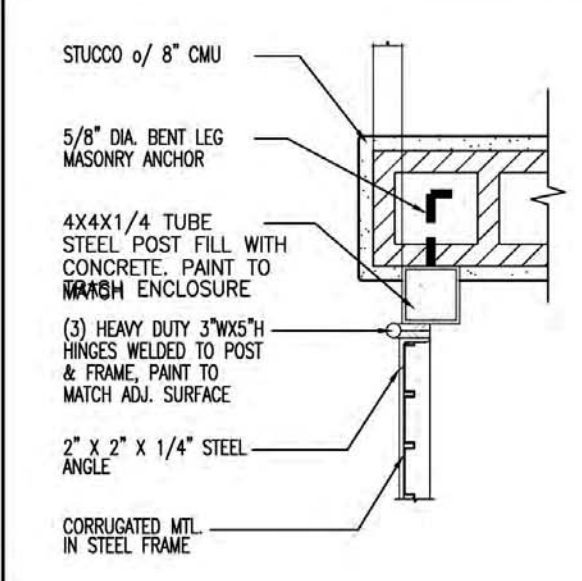
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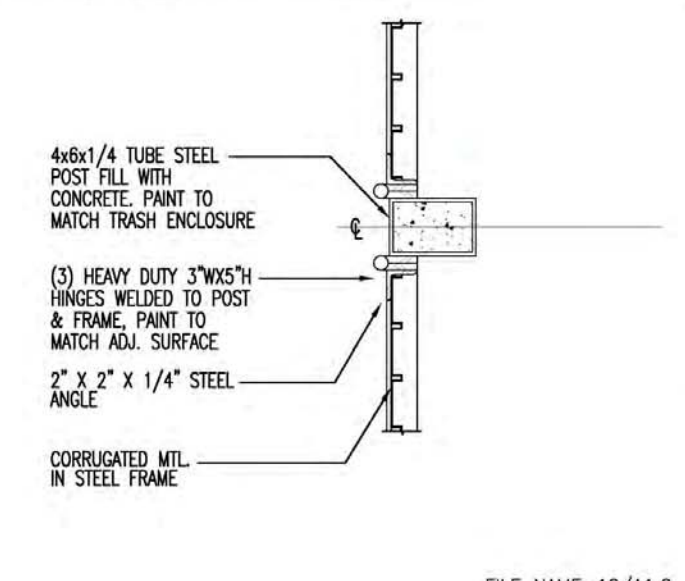
- NOTES:**
1. ALL WELDS TO BE GROUND SMOOTH.
 2. PAINT ALL EXPOSED METAL TO MATCH ENCLOSURE WALLS.
 3. PAINT ALL STUCCO PER ARCHITECT
 4. SEE CIVIL & ELECTRICAL FOR UTILITY REQUIREMENTS.
 5. SEE SITE PLANS FOR ORIENTATION & DOORS.
- TRASH ENCLOSURE TYPES**
TYPE 'B' - COMPACTORS
* SEE SITE PLAN FOR LOCATIONS



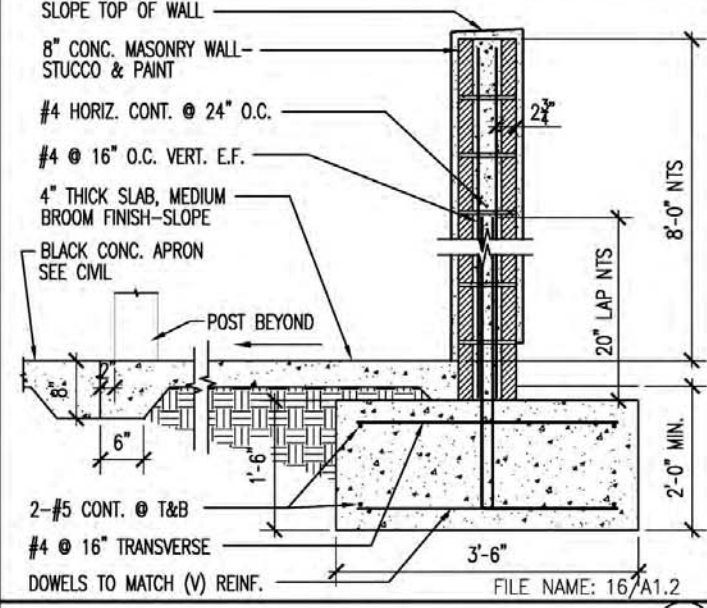
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DOOR + HINGES

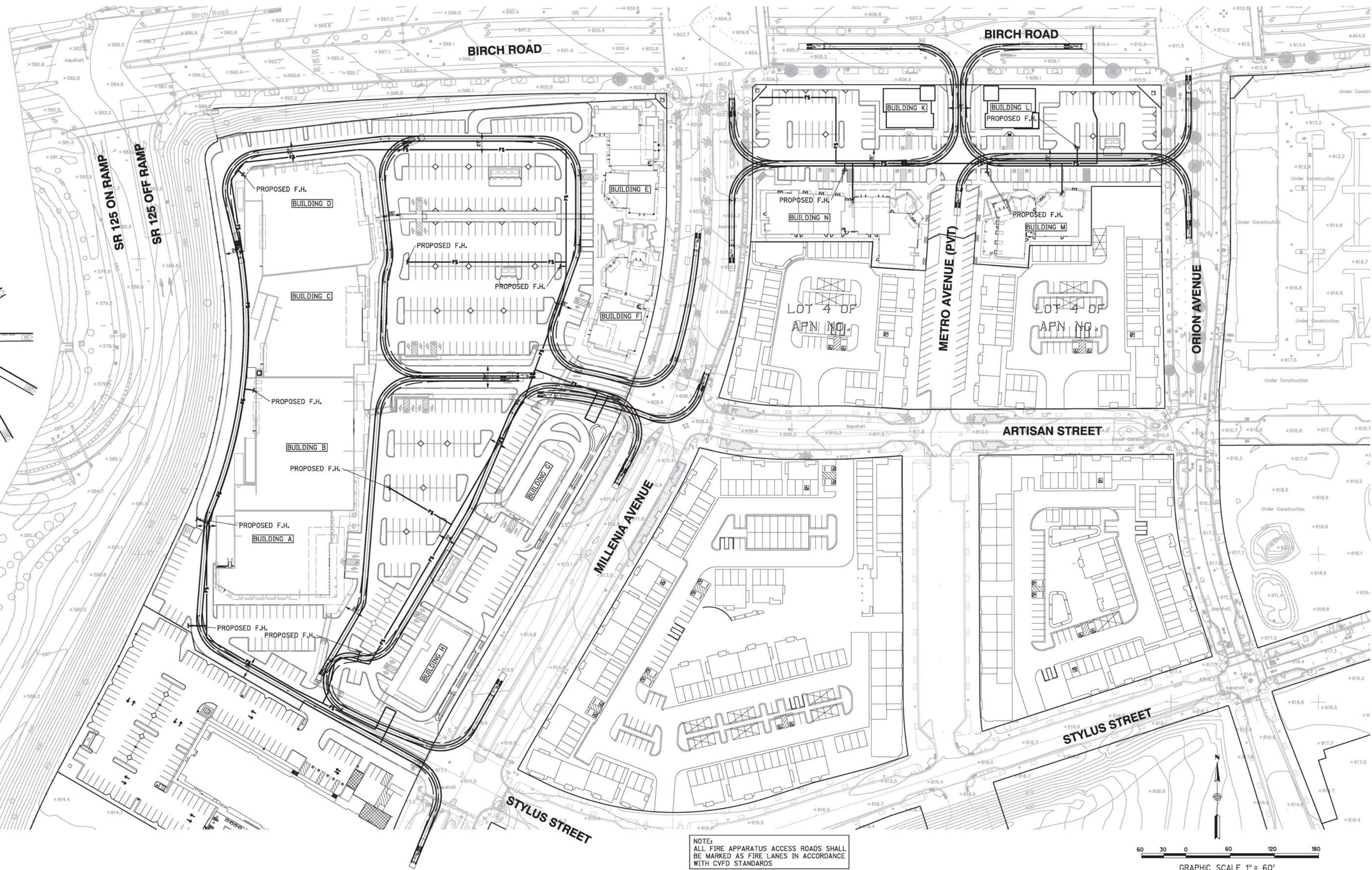
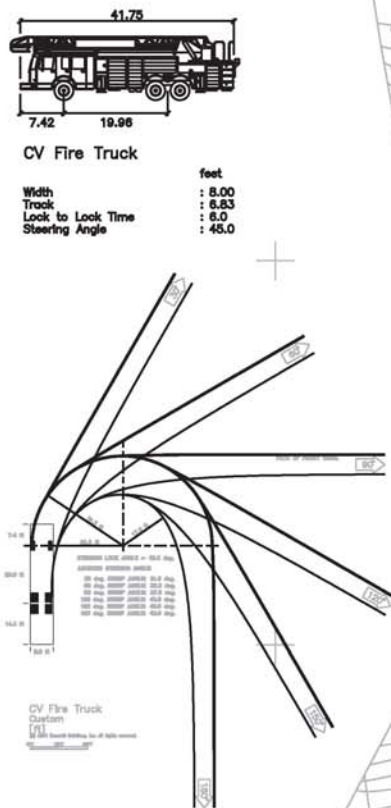


DOOR + HINGES

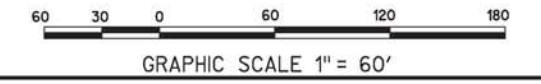


SECTION

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NOTE:
ALL FIRE APPARATUS ACCESS ROADS SHALL
BE MARKED AS FIRE LANES IN ACCORDANCE
WITH CVFD STANDARDS



Millenia Lots 2 & 3

Chula Vista, California

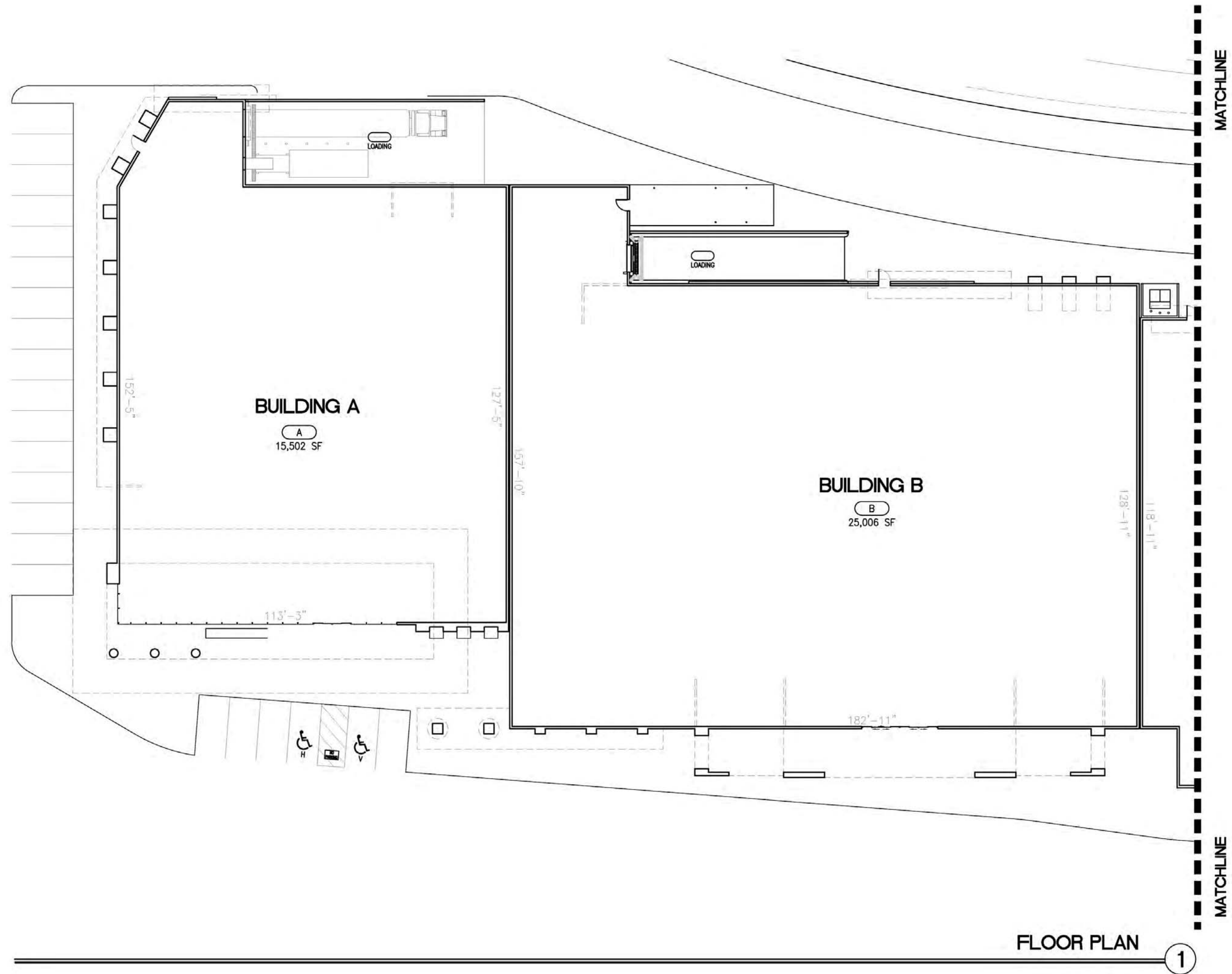
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5620 FRIARS ROAD
SAN DIEGO, CA 92110
619-291-0707
(FAX) 619-291-4165
rickengineering.com
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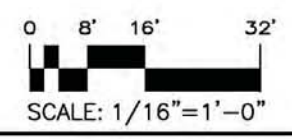
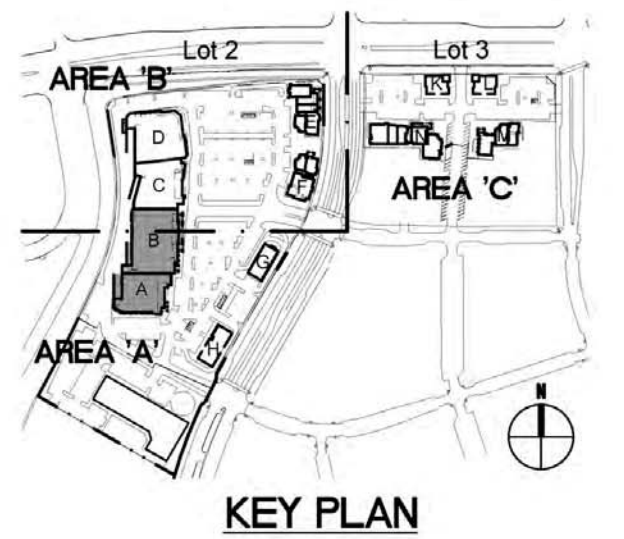
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Sheet Title:	FIRE TRUCK TURNING
Revision 05:	
Revision 04:	
Revision 03:	11/10/16
Revision 02:	6/24/16
Revision 01:	3/16/16
Original Date:	3/16/16
Sheet	27 of 46
DEP#	

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27-Jan-2016 11:41



CONSTRUCTION TYPE / OCCUPANCY:

LOT 2:
ANCHOR RETAIL BUILDINGS A,B,C, & D- (M); TYPE
VB, FULLY SPRINKLERED



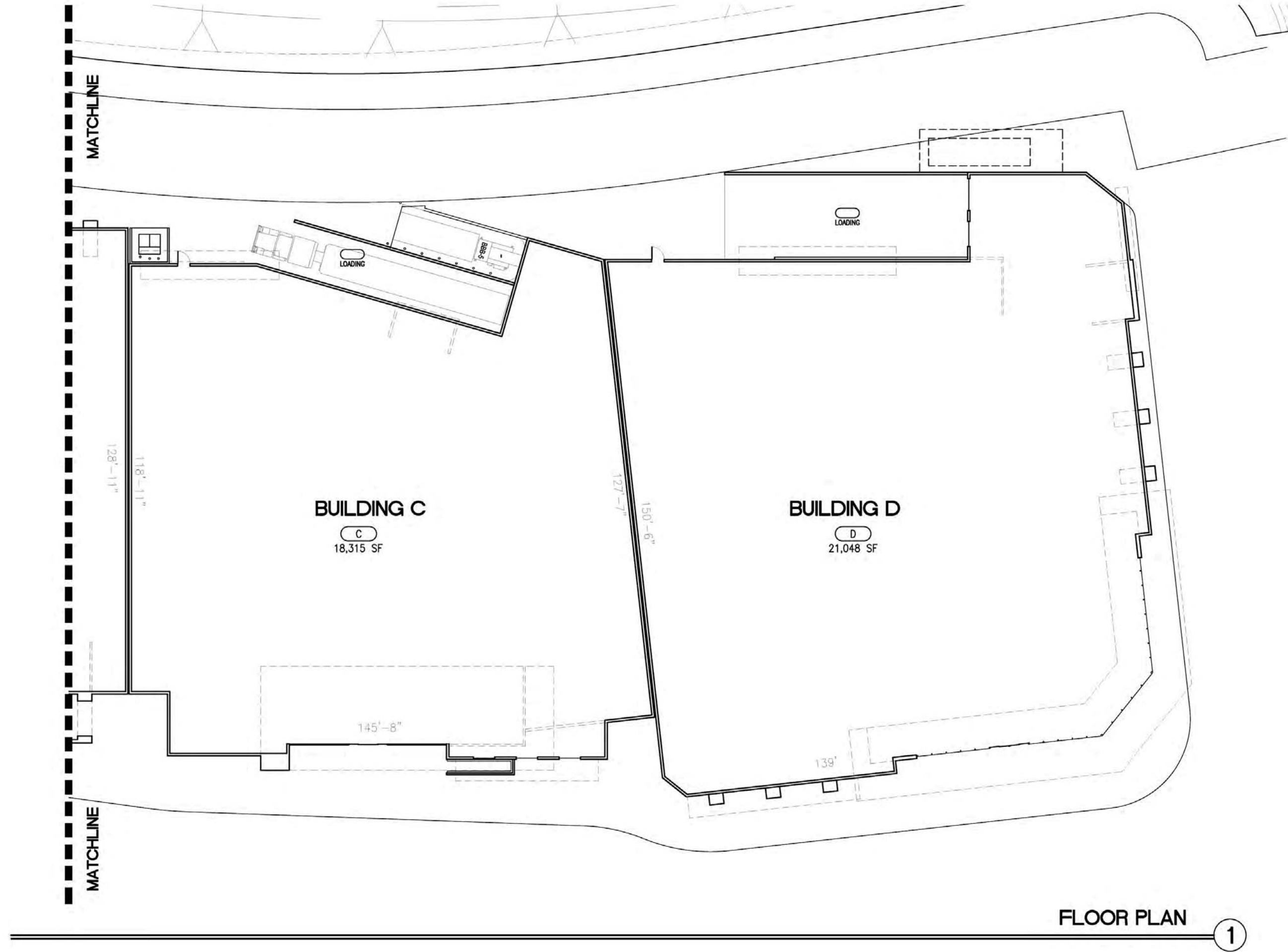
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Millenia Lots 2 & 3
 Chula Vista, California

Project Name:	Millenia Lots 2 & 3
Sheet Title:	FLOOR PLANS BUILDINGS A & B
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
Sheet	28 of 46
DEP#	_____

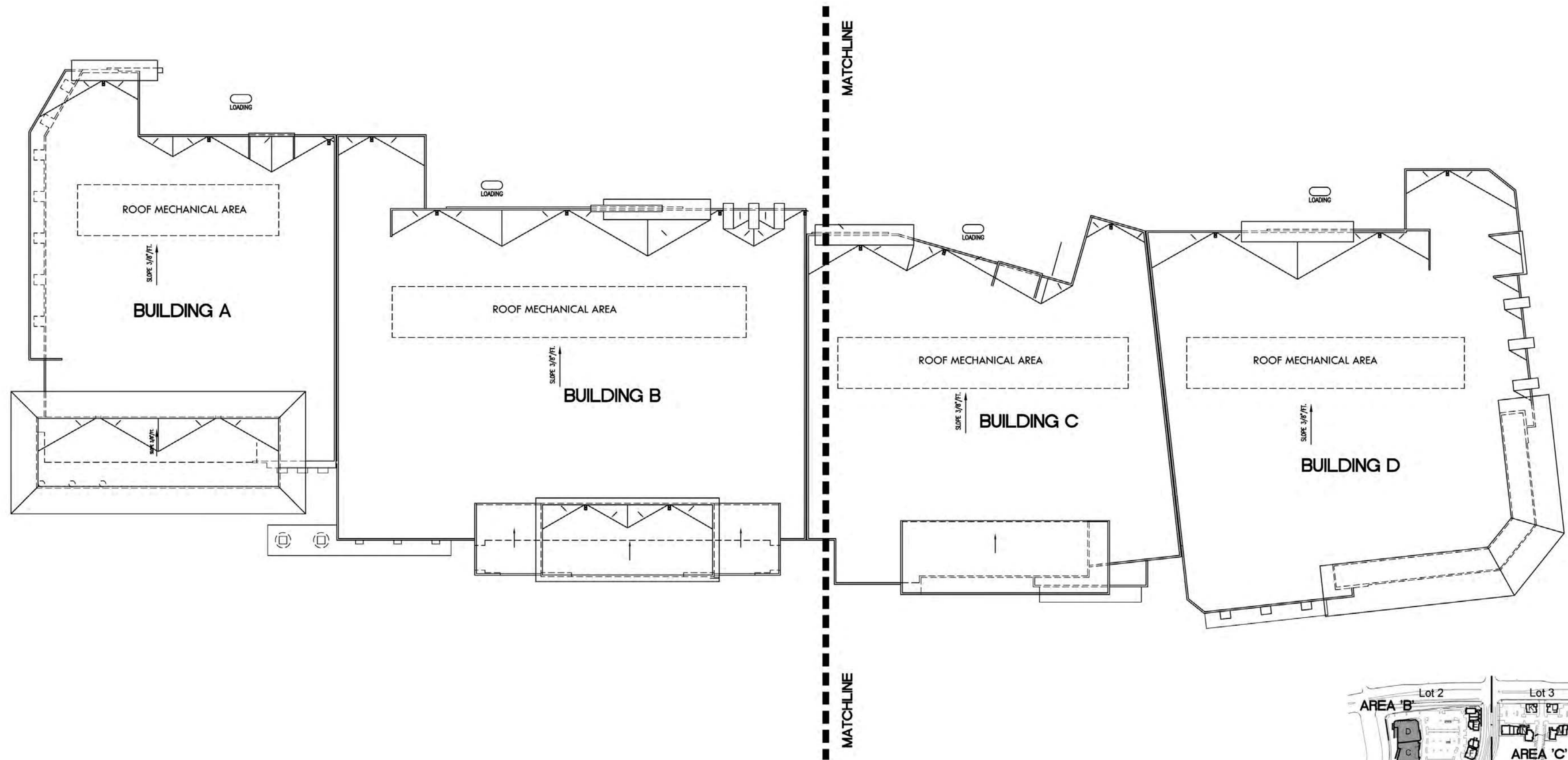


CONSTRUCTION TYPE / OCCUPANCY:
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 ANCHOR RETAIL BUILDINGS A,B,C, & D- (M); TYPE
 VB, FULLY SPRINKLERED

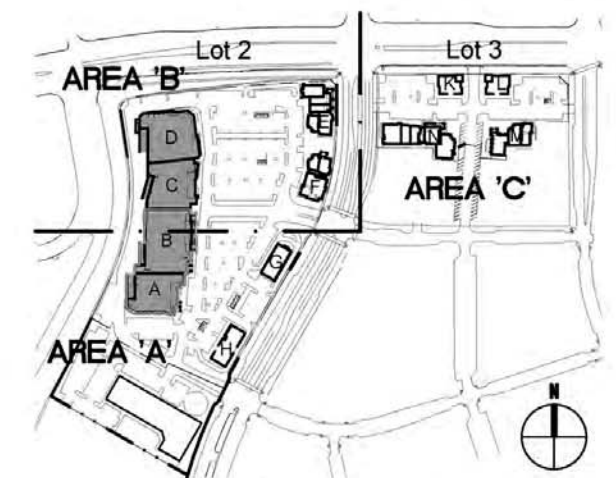


FLOOR PLAN ①

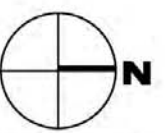
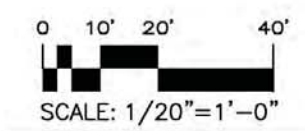
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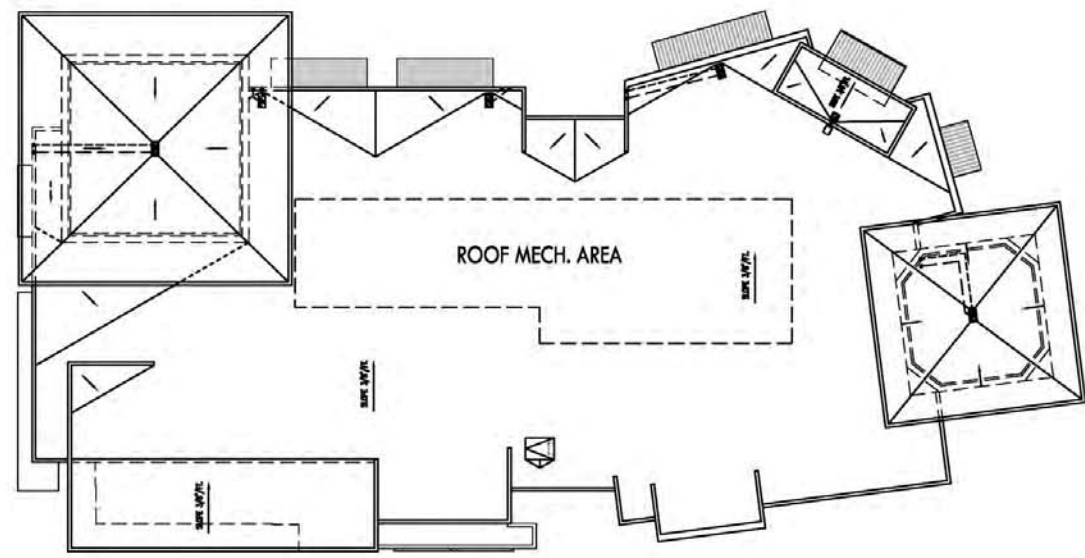
ROOF PLAN ①



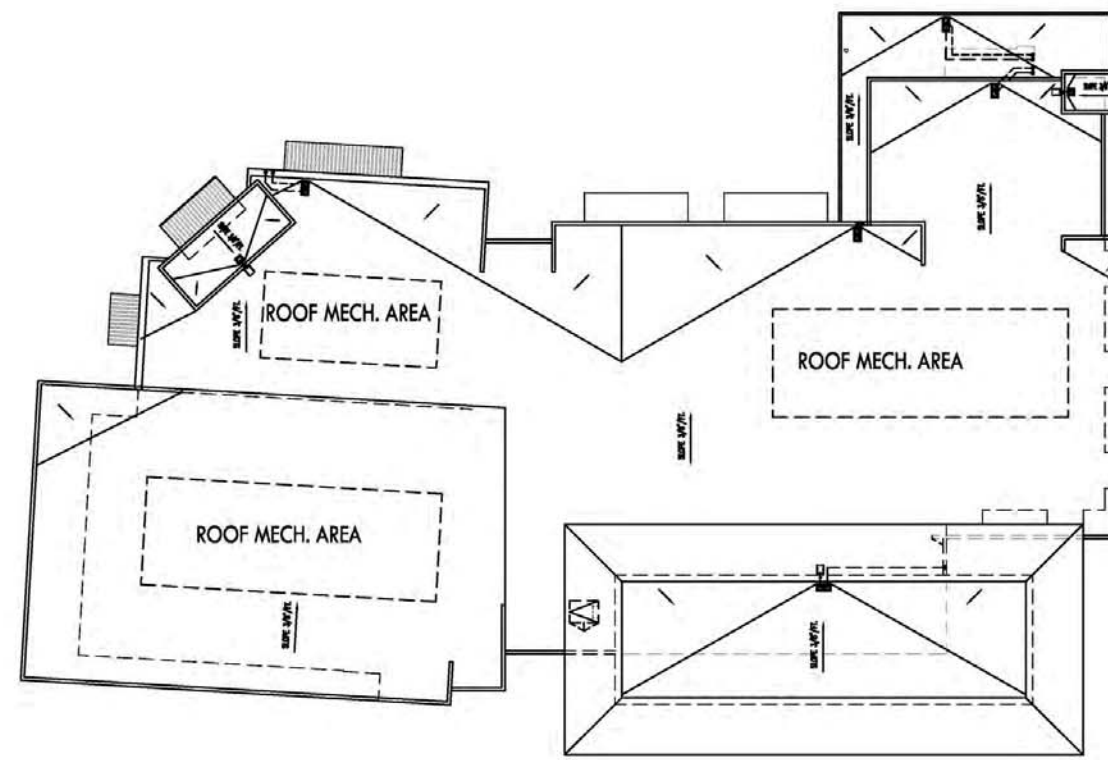
KEY PLAN



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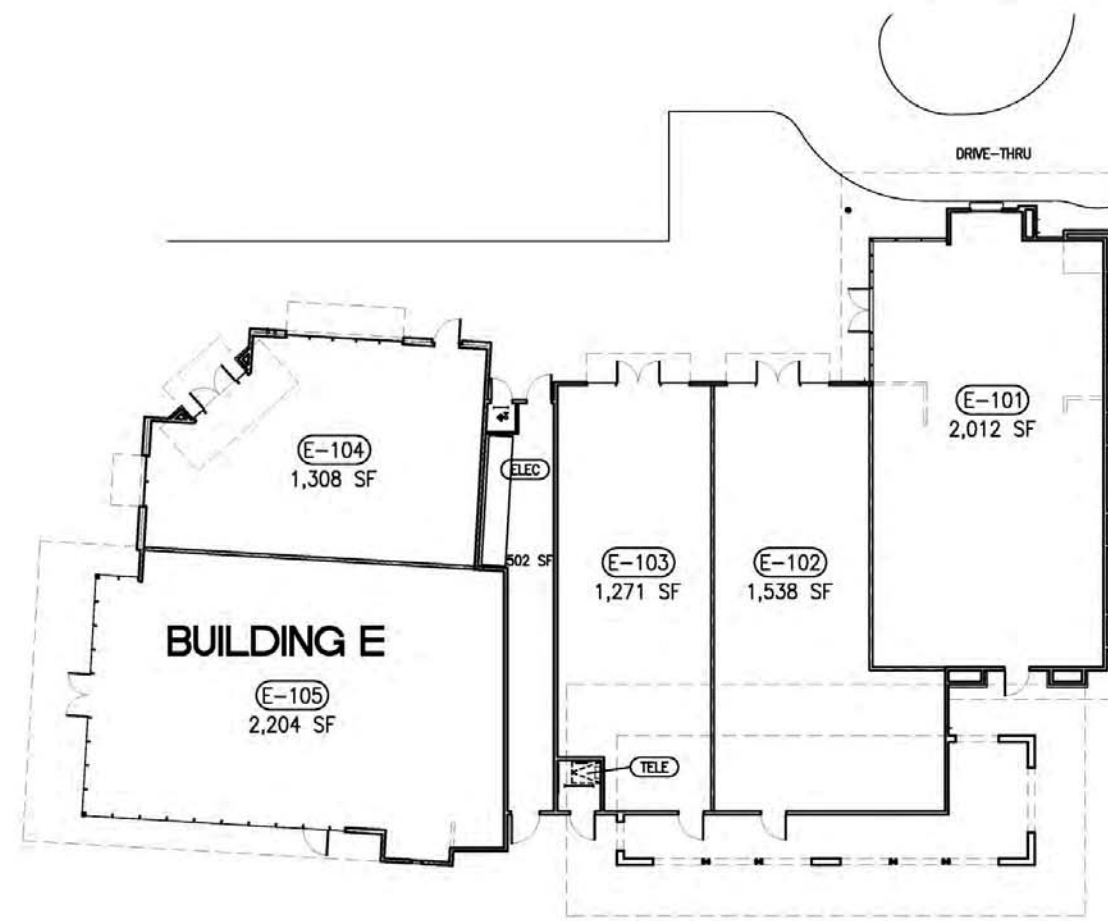
ROOF PLAN 4



ROOF PLAN 3

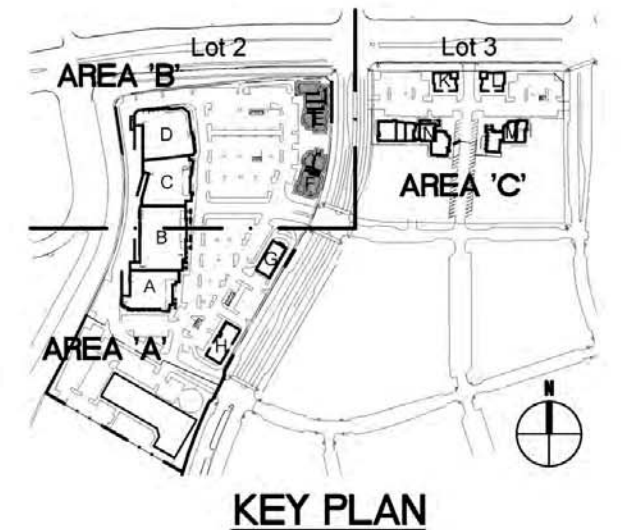


FLOOR PLAN 2

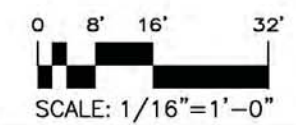


FLOOR PLAN 1

CONSTRUCTION TYPE / OCCUPANCY:
 LOT 2:
 RETAIL SHOPS & PADS E,F,G, & H- (M & A-2): TYPE
 VB, FULLY SPRINKLERED

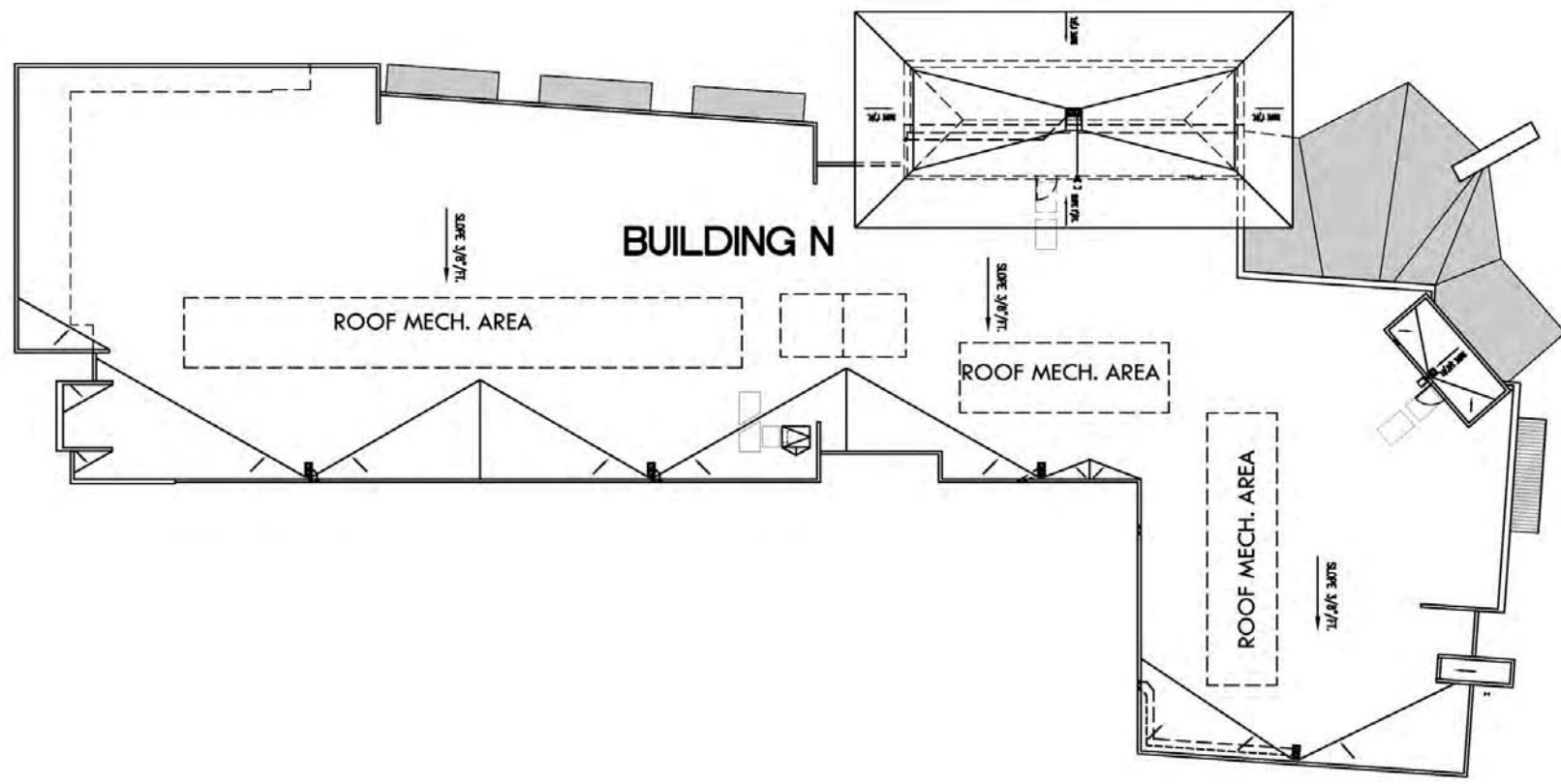


KEY PLAN



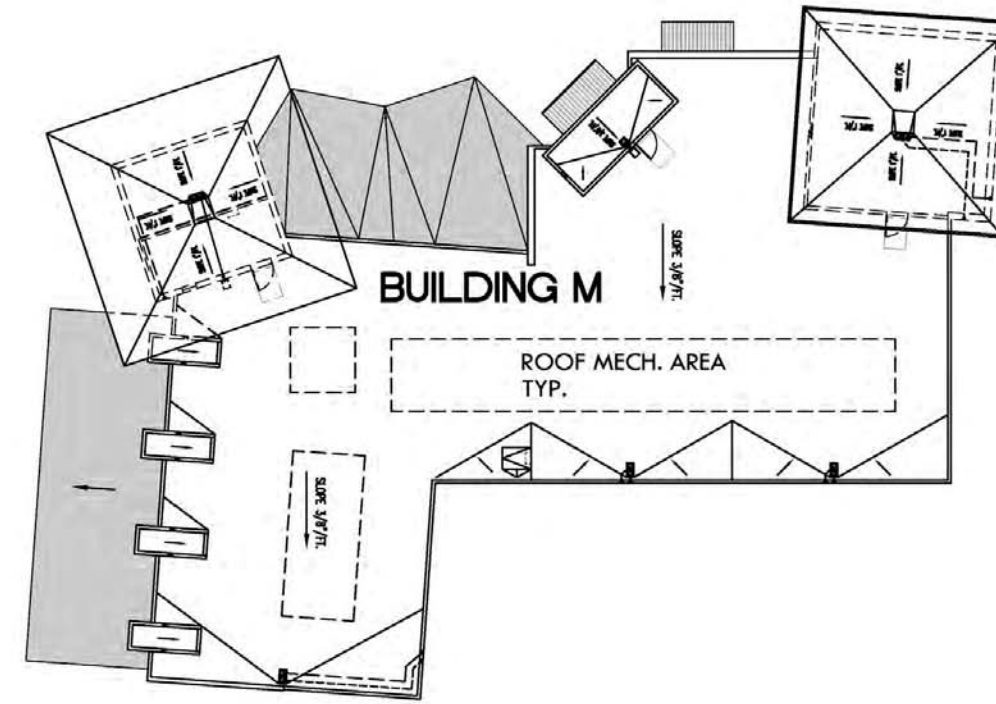
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Project Name:	Millenia Lots 2 & 3
Sheet Title:	FLOOR PLANS BUILDINGS E & F
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
Sheet	31 of 46
DEP#	_____



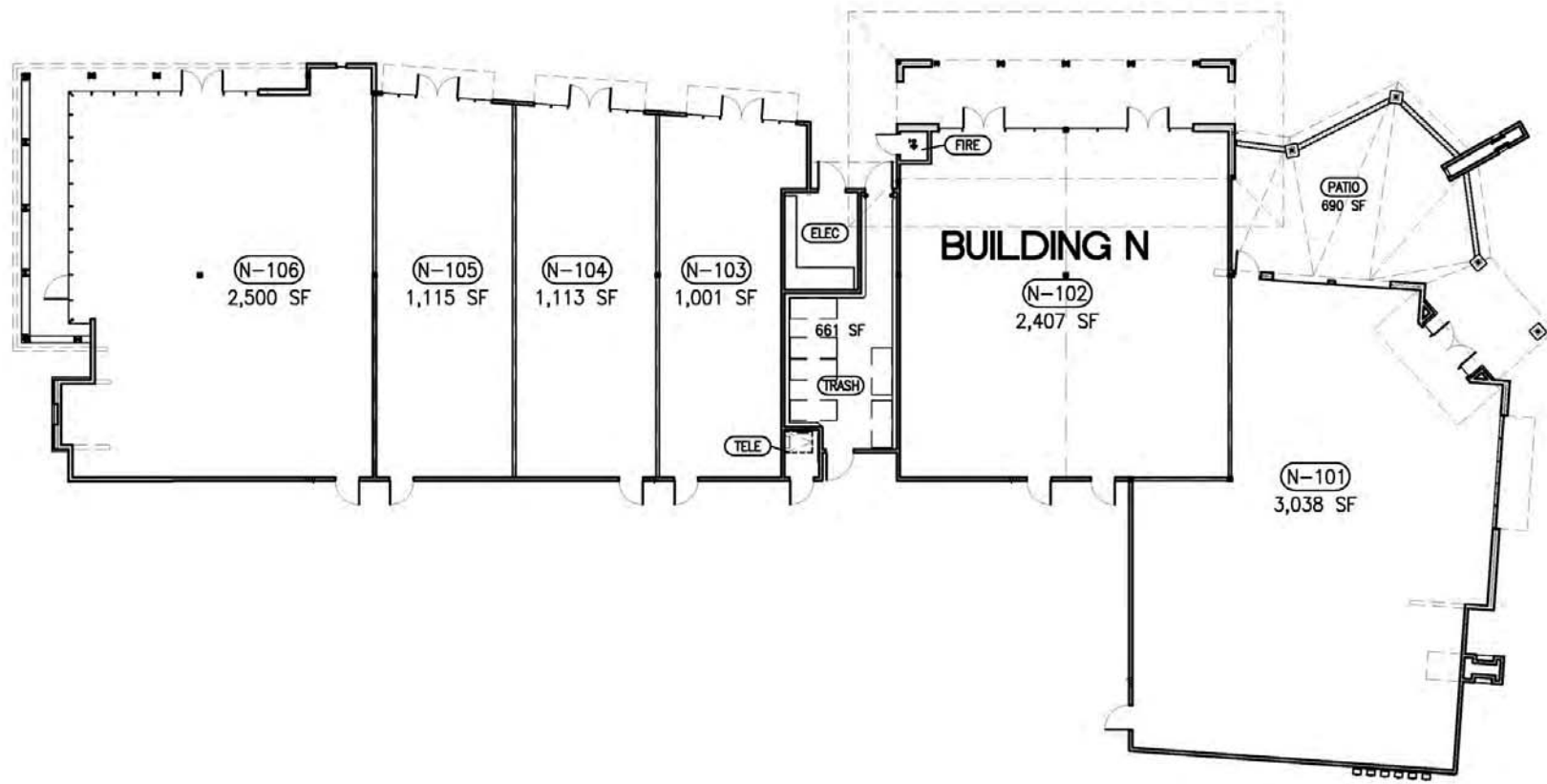
ROOF PLAN

4



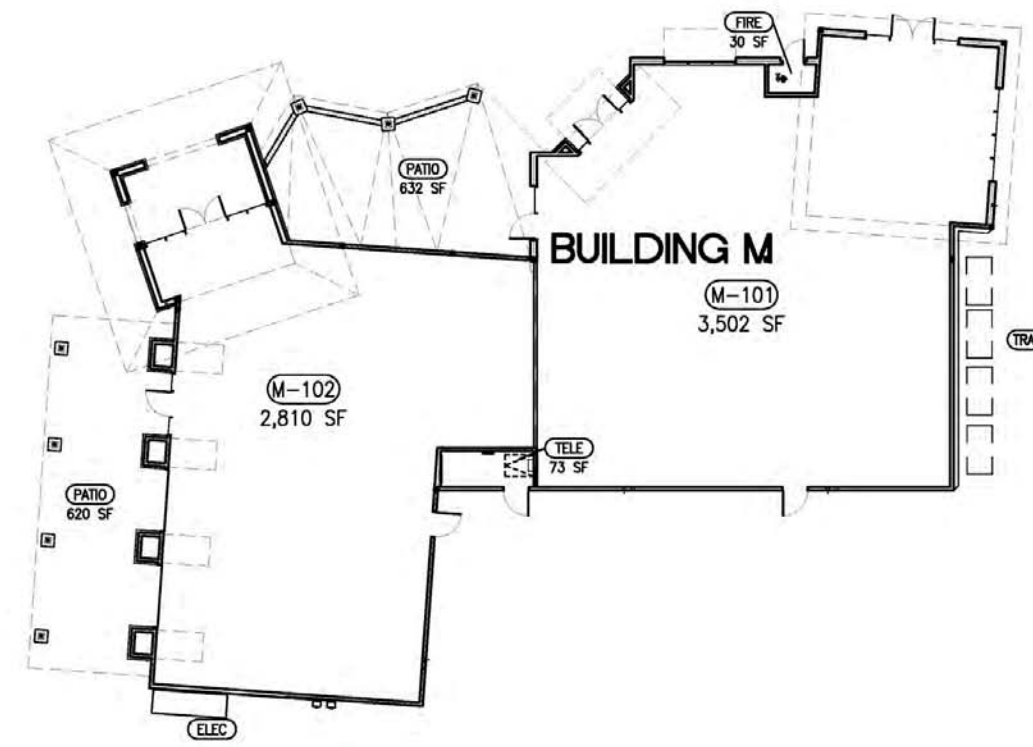
ROOF PLAN

3



FLOOR PLAN

2

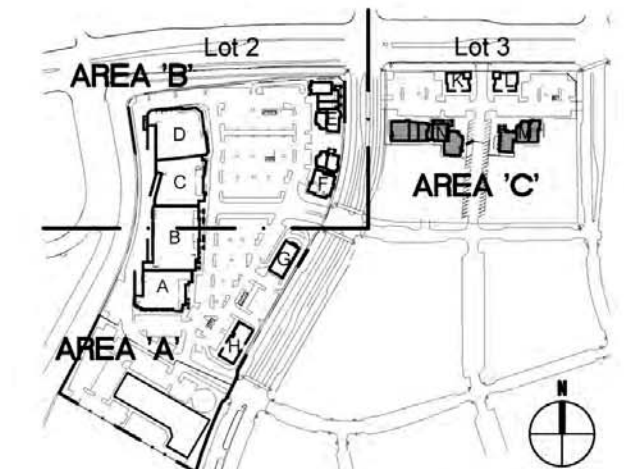


FLOOR PLAN

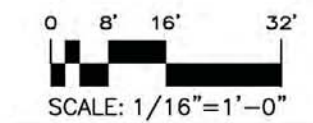
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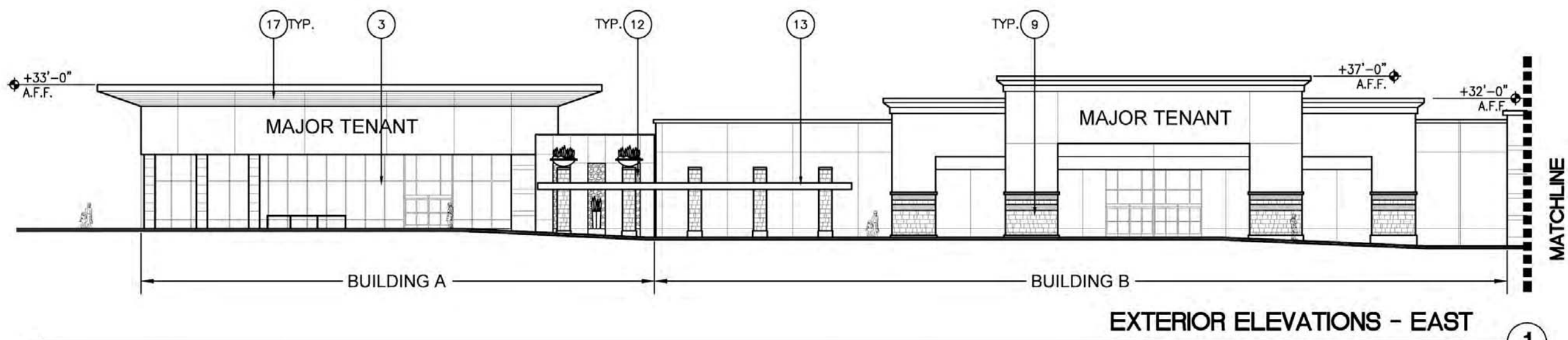
CONSTRUCTION TYPE / OCCUPANCY:

LOT 3:
RETAIL SHOPS & PADS K,L,M,N- (M & A-2): TYPE VB,
FULLY SPRINKLERED

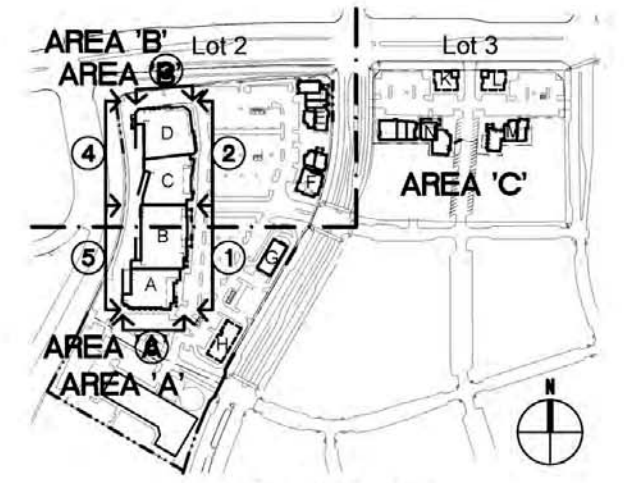


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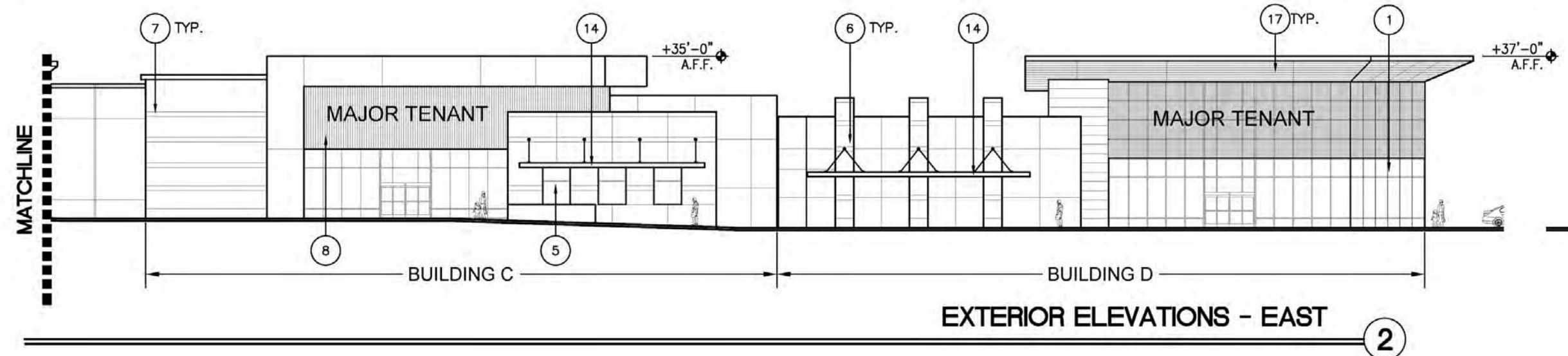




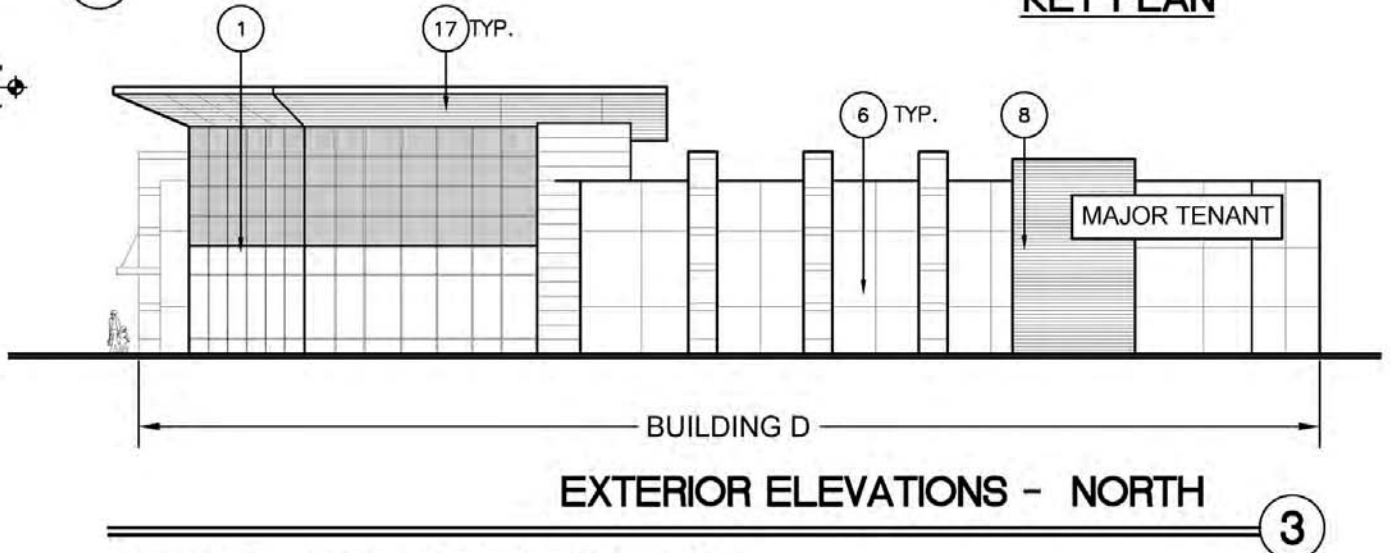
EXTERIOR ELEVATIONS - EAST 1



KEY PLAN



EXTERIOR ELEVATIONS - EAST 2



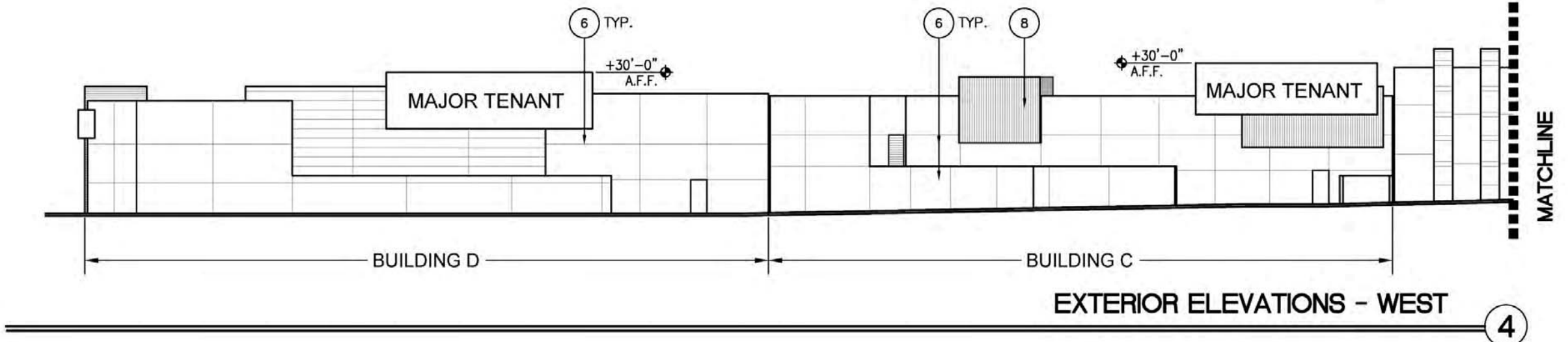
EXTERIOR ELEVATIONS - NORTH 3

KEY NOTES - DESIGN ELEMENTS / MATERIALS

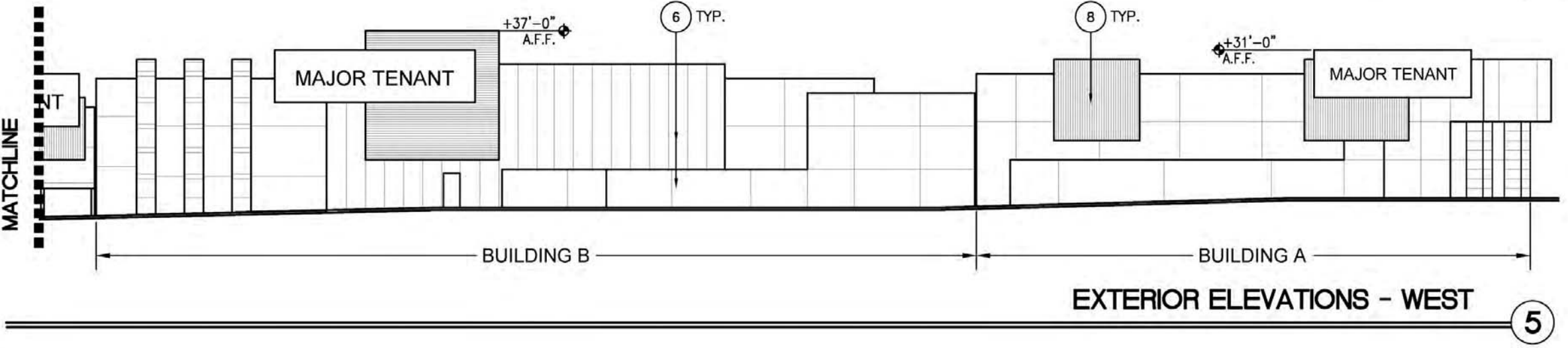
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|----------------------------------|---|
| 1 TALL OPENING AT CORNER | 10 RECESSED "MILLENNIA" TILE FEATURE |
| 2 ANGLED OPENING | 11 PERFORATED METAL SCREEN |
| 3 RECESSED OPENING | 12 RECESSED OPENING WITH MANUFACTURED STONE |
| 4 STOREFRONT WITH STONE BULKHEAD | 13 METAL CANOPY WITH MANUFACTURED STONE COLUMNS |
| 5 PUNCHED OPENING | 14 METAL CANOPY WITH ROD / CABLE SUPPORTS |
| 6 SMOOTH PLASTER | 15 CANVAS AWNING IN RECESSED OPENING |
| 7 EXPRESSED PLASTER REGLETS | 16 METAL CANOPY WITHIN STOREFRONT OPENING |
| 8 COMPOSITE SIDING | 17 STAINED WOOD |
| 9 MANUFACTURED STONE | |

COLOR LEGEND

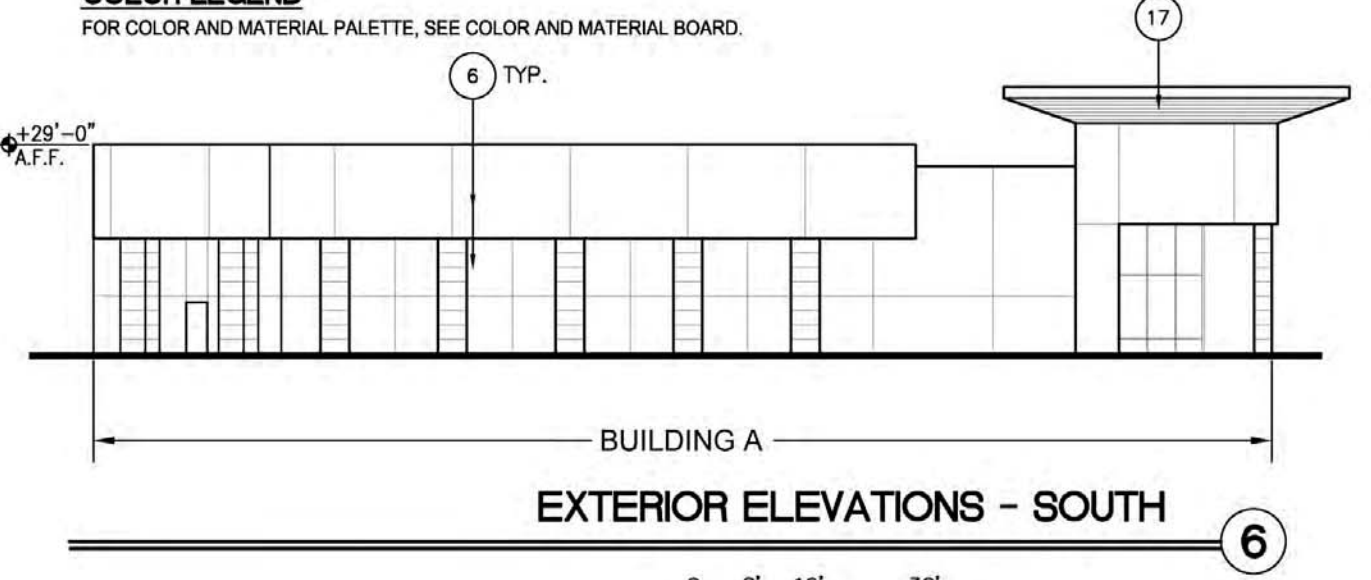
FOR COLOR AND MATERIAL PALETTE, SEE COLOR AND MATERIAL BOARD.



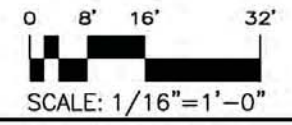
EXTERIOR ELEVATIONS - WEST 4



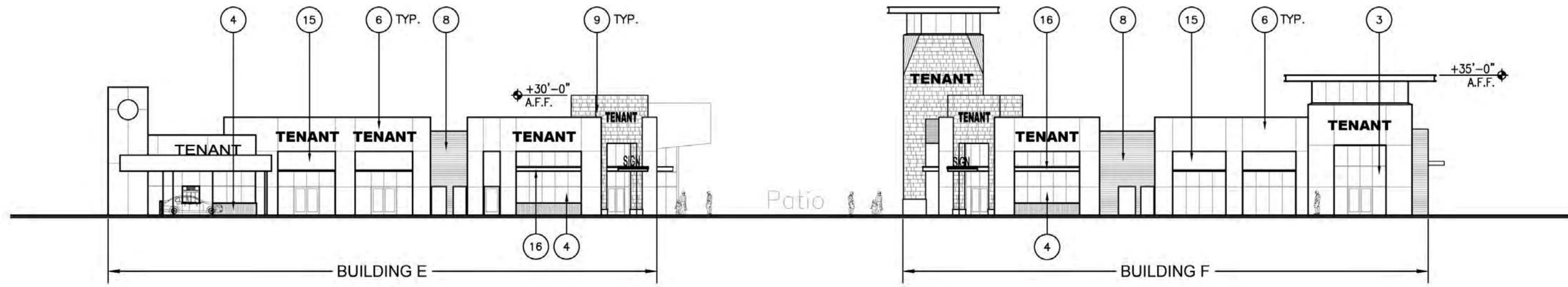
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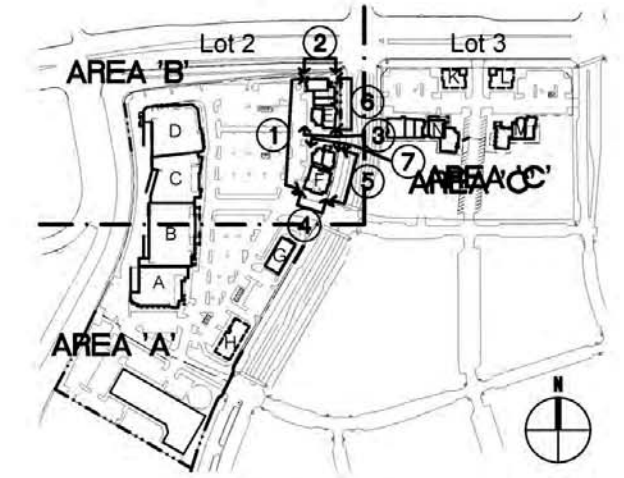
EXTERIOR ELEVATIONS - SOUTH 6



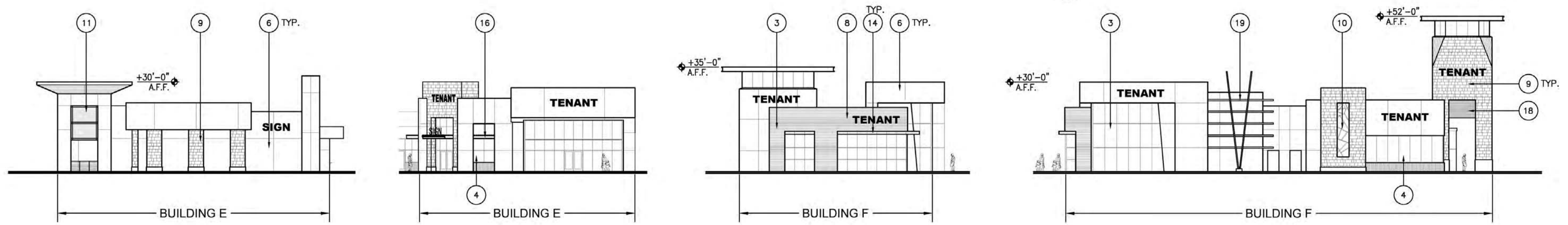
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EXTERIOR ELEVATIONS - WEST



KEY PLAN

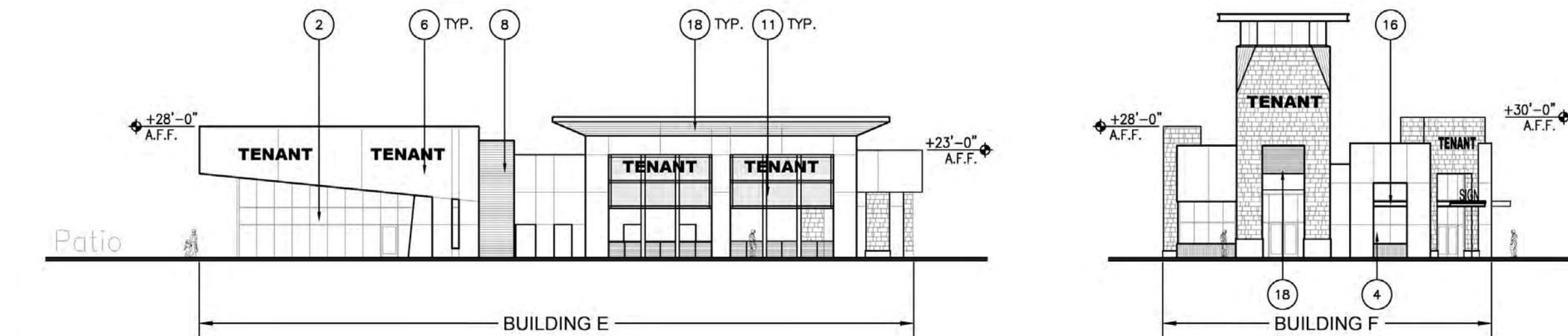


EXTERIOR ELEVATIONS - NORTH

EXTERIOR ELEVATIONS - SOUTH

EXTERIOR ELEVATIONS - SOUTH

EXTERIOR ELEVATIONS - EAST



EXTERIOR ELEVATIONS - EAST

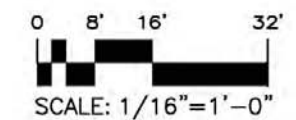
EXTERIOR ELEVATIONS - NORTH

KEY NOTES - DESIGN ELEMENTS / MATERIALS:

- | | |
|--------------------------------------|--|
| 1 TALL OPENING AT CORNER | 11 PERFORATED METAL SCREEN IN STEEL FRAME OPENINGS |
| 2 ANGLED OPENING | 12 RECESSED OPENING WITH MANUFACTURED STONE |
| 3 RECESSED OPENING | 13 METAL CANOPY WITH MANUFACTURED STONE COLUMNS |
| 4 STOREFRONT WITH STONE BULKHEAD | 14 METAL CLAD EAVE/ SOFFIT/ FASCIA |
| 5 PUNCHED OPENING | 15 CANVAS AWNING IN RECESSED OPENING |
| 6 SMOOTH PLASTER | 16 METAL CANOPY WITH STOREFRONT OPENING |
| 7 EXPRESSED PLASTER REGLETS | 17 ADJACENT WALL / BUILDING IN FOREGROUND |
| 8 COMPOSITE SIDING | 18 STAINED WOOD |
| 9 MANUFACTURED STONE | 19 PAINTED STEEL TRELLIS |
| 10 RECESSED 'MILLENNIA' TILE FEATURE | |

COLOR LEGEND

FOR COLOR AND MATERIAL PALETTE, SEE COLOR AND MATERIAL BOARD.



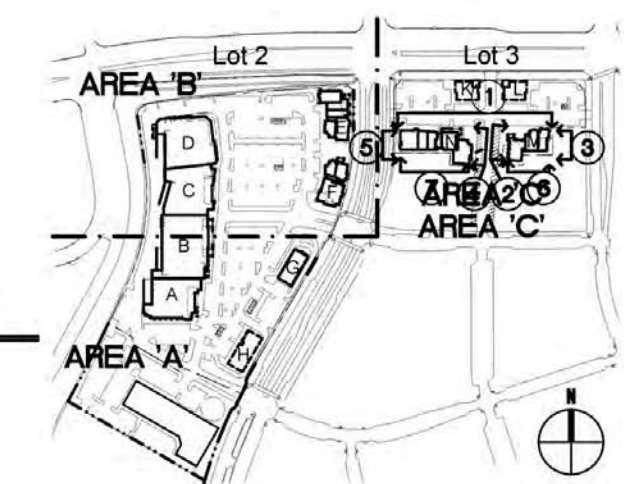
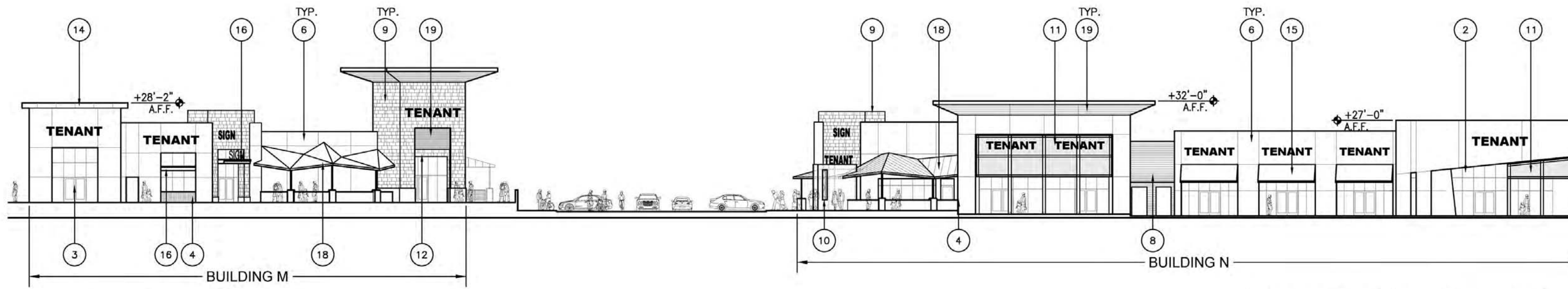
Exterior Elevations--Buildings E-F

Millenia Lots 2 & 3
Chula Vista, California

Andrew Hull Stevenson Architects
5465 Morehouse Drive, Suite 260
San Diego, California 92121
T 858.220.7224 F 858.546.3009



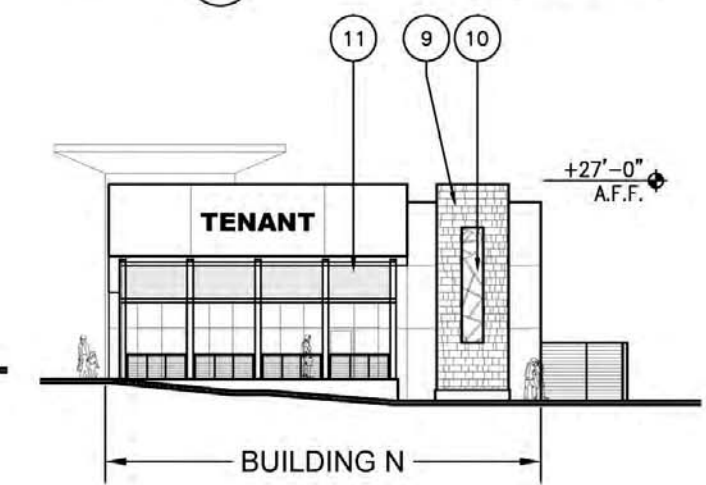
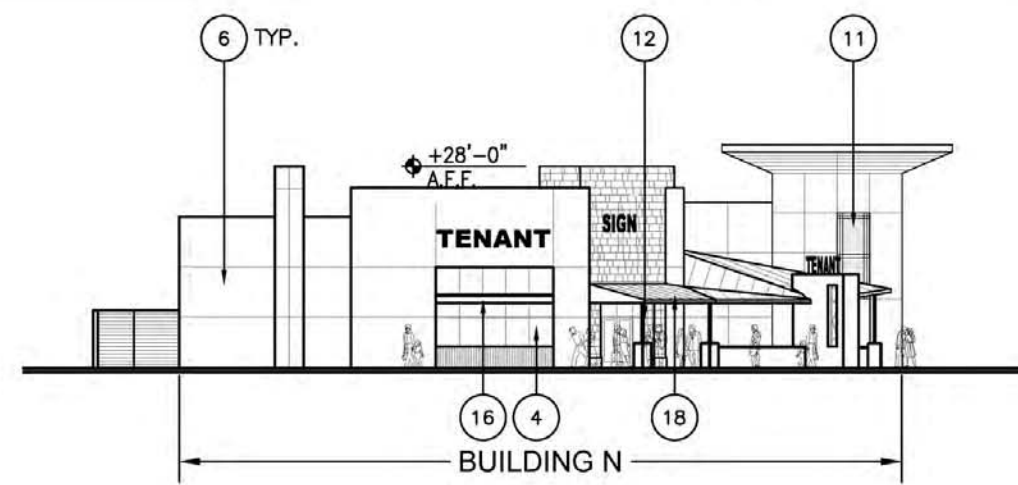
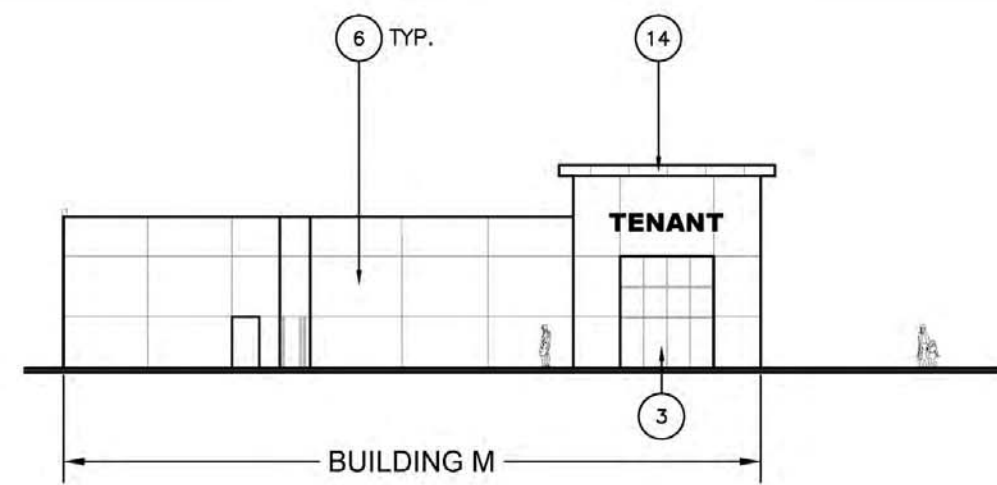
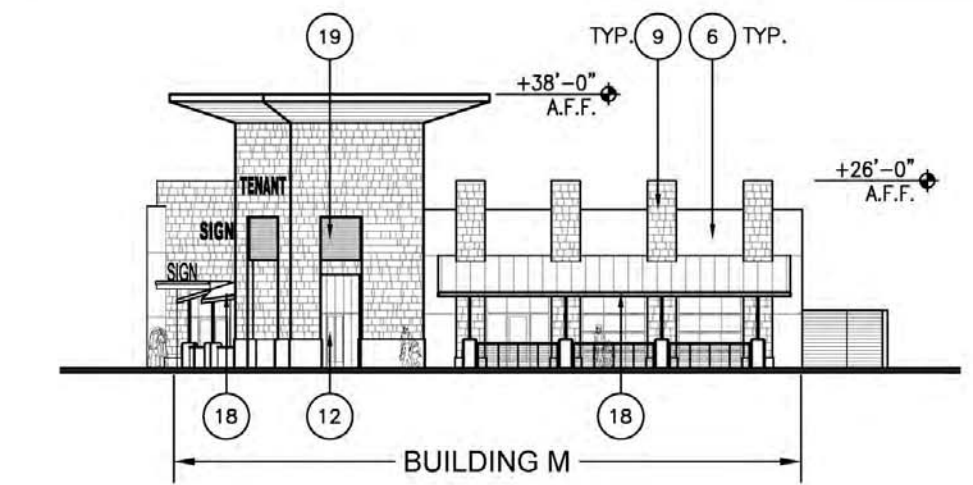
Project Name:	Millenia Lots 2 & 3
Sheet Title:	Exterior Elevations E-F
Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	9/09/16
Revision 01:	6/24/16
Original Date:	3/16/16
Sheet	34 of 46
DEP#	_____



EXTERIOR ELEVATIONS - NORTH

1

KEY PLAN



EXTERIOR ELEVATIONS - WEST

2

EXTERIOR ELEVATIONS - EAST

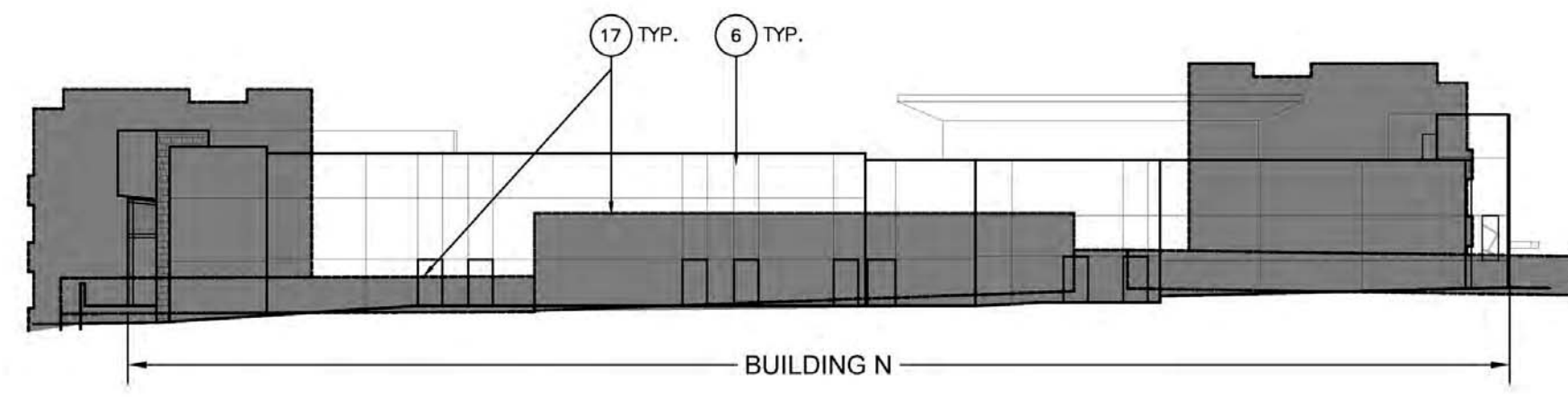
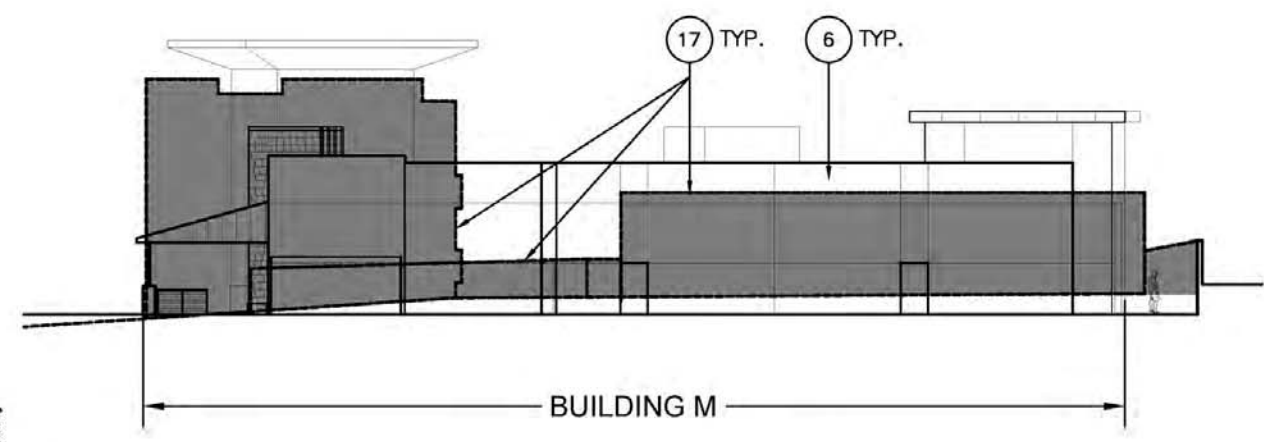
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EXTERIOR ELEVATIONS - EAST

4

EXTERIOR ELEVATIONS - WEST

5



EXTERIOR ELEVATIONS - SOUTH

6

EXTERIOR ELEVATIONS - SOUTH

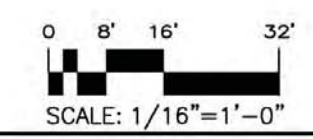
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KEY NOTES - DESIGN ELEMENTS / MATERIALS:

- | | |
|--------------------------------------|--|
| 1 TALL OPENING AT CORNER | 11 PERFORATED METAL SCREEN IN STEEL FRAME OPENINGS |
| 2 ANGLED OPENING | 12 RECESSED OPENING WITH MANUFACTURED STONE |
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| 4 STOREFRONT WITH STONE BULKHEAD | 14 METAL CLAD EAVE/ SOFFIT/ FASCIA |
| 5 PUNCHED OPENING | 15 CANVAS AWNING IN RECESSED OPENING |
| 6 SMOOTH PLASTER | 16 METAL CANOPY WITH STOREFRONT OPENING |
| 7 EXPRESSED PLASTER REGLETS | 17 ADJACENT WALL / BUILDING IN FOREGROUND |
| 8 COMPOSITE SIDING | 18 CANVAS AWNING PATIO COVER |
| 9 MANUFACTURED STONE | 19 STAINED WOOD |
| 10 RECESSED "MILLENNIA" TILE FEATURE | |

COLOR LEGEND

FOR COLOR AND MATERIAL PALETTE, SEE COLOR AND MATERIAL BOARD.



PURPOSE
The purpose of the Design Guidelines is to maintain a consistent architectural vocabulary for the entire project in order to unify the multiple buildings on site, to maintain a level of design quality making the project aesthetically pleasing, and to enhance the area in which the project is located. It is the intent of the developer to review and approve the design of all buildings and structures to be constructed on the site in order to achieve this.

INTENT
These Design Guidelines primarily address Building Architecture, including form, colors and materials. However, landscape, hardscape and lighting treatments are also of significant importance in creating a unified project and will be reviewed by the Developer and the Developer's Architect for conformance with the established design aesthetic.

To explain the Building Architecture to prospective Tenants and their Architects, the building components that create the Architectural character of this project have been illustrated in these Design Guidelines, in essence creating a "kit of parts". This kit of parts" includes staggered building offsets, varied wall and roof heights, widths and shapes, and varied treatments of openings, colors and materials.

Landscape considerations will include sizes, species, placement of trees and plant materials, and the relationship between the landscape, buildings and parking areas. Lighting will be designed to enhance the appearance of the buildings and landscaping through its arrangement, type, quantity and quality. Consistency of lighting throughout the site will be an important consideration during the internal project review process.

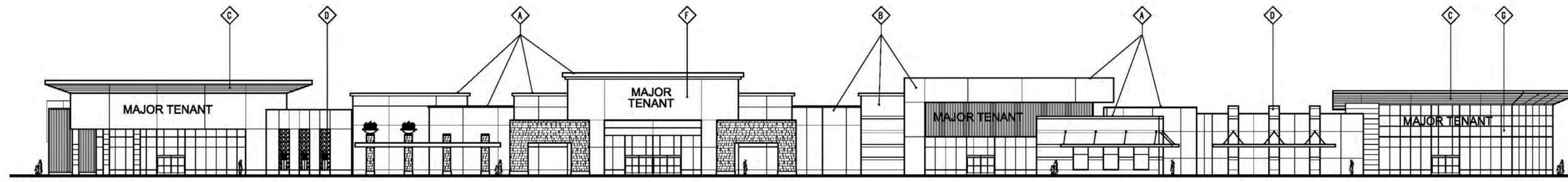
APPLICATION OF THE KIT OF PARTS
The Kit of Parts is to be used in whole or combinations to achieve the intended ambiance and character of the project. The proposed new buildings shall incorporate a sufficient number of the architectural elements as to reflect the Millenia design character. The proposed buildings should employ staggered setbacks, varied building heights, widths, shapes, orientations, colors, and materials. The future tenant designer should note the way in which the Kit of Parts has been applied to the design of the major tenants and the retail shop buildings.

EXTERIOR FINISH NOTES
1. All exterior building paint colors are subject to change based upon on-site mock-ups. Do not purchase or apply exterior paint without written approval of the developer's architect.
2. Provide minimum 4' x 8' mock-ups in a material sufficient to simulate the final building finish on-site. Each of the proposed exterior building colors shall be represented on its own mock-up for review and approval by the developer and the developer's architect.
3. All stucco shall be smooth, by hard steel trowel.
4. The colors and finishes for all other materials shall be as specified in these design guidelines. No alternates will be approved.

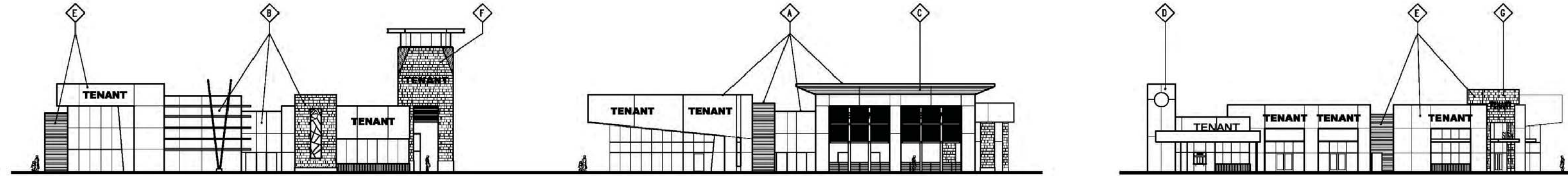
BUILDING SIGNAGE NOTES
1. All exterior signage shall comply with the City of Chula Vista signage regulations and the approved project Comprehensive Sign Program.
2. All exterior building signage shall be submitted to the developer for review and written approval prior to submission to the City.
3. Exterior building signage shown in these design guidelines is conceptual only and is not intended to indicate that which may be approved by the city. Upon written approval of the developer, the signage is required to be submitted to the City for review.

ROOF NOTES
1. All roof drain leaders, overflow leaders, scuppers and roof ladders shall be concealed within the building.
2. All roof mounted equipment, apparatus and vents shall be architecturally screened from views by the building parapets.

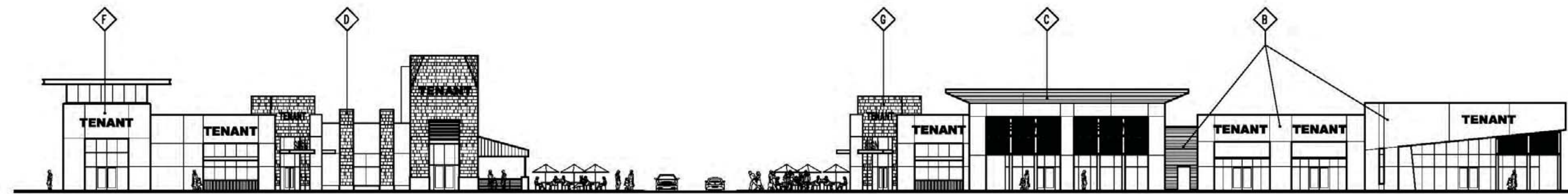
LIGHTING NOTES
1. All proposed light fixtures shall match those of the major tenants and shops.
2. Parking areas shall not be illuminated with building mounted flood lighting
3. Light fixtures shall not obscure signage.
4. Architectural elements shall be accented with lighting.
5. Parking lot lighting shall match site lighting.



ELEVATION EXAMPLE



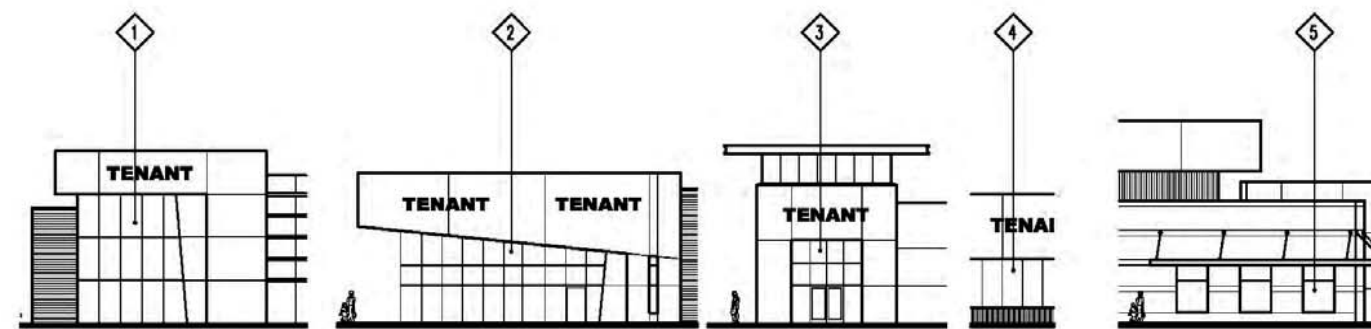
ELEVATION EXAMPLE



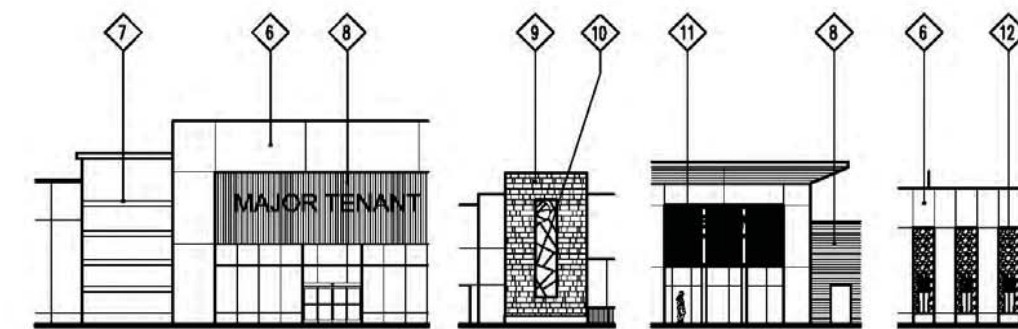
ELEVATION EXAMPLE

KEY NOTES - ELEVATION EXAMPLES

- A VARY ROOF AND PARAPET HEIGHTS
- B OFF-SETTING PLANES
- C FLARED ROOF / PARAPET
- D VERTICAL ELEMENTS
- E VARY ADJACENT MATERIALS
- F EMPHASIZE ENTRANCE
- G CORNER FEATURE



STOREFRONT OPENINGS



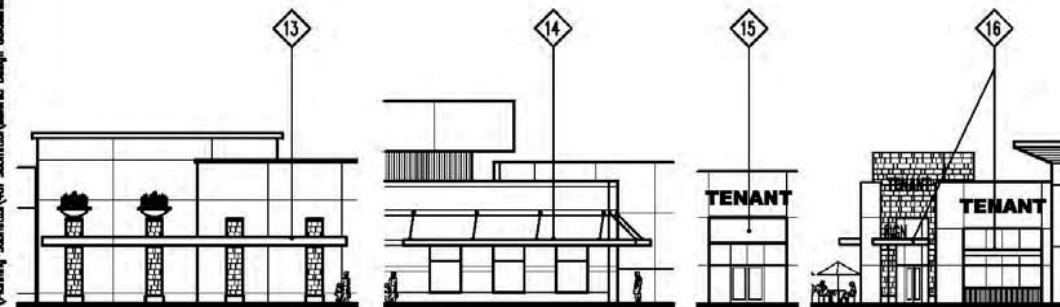
WALL TREATMENT / MATERIALS

KEY NOTES - DESIGN ELEMENTS / MATERIALS

- 1 TALL OPENING AT CORNER
- 2 ANGLED OPENING
- 3 RECESSED OPENING
- 4 STOREFRONT WITH STONE BULKHEAD
- 5 PUNCHED OPENING
- 6 SMOOTH PLASTER
- 7 EXPRESSED PLASTER REGLETS
- 8 COMPOSITE SIDING
- 9 MANUFACTURED STONE
- 10 RECESSED "MILLENNIA" TILE FEATURE
- 11 PERFORATED METAL SCREEN
- 12 RECESSED OPENING WITH MANUFACTURED STONE
- 13 METAL CANOPY WITH MANUFACTURED STONE COLUMNS
- 14 METAL CANOPY WITH ROD / CABLE SUPPORTS
- 15 CANVAS AWNING IN RECESSED OPENING
- 16 METAL CANOPY WITHIN STOREFRONT OPENING

REQUIREMENTS FOR THE USE OF THESE DESIGN GUIDELINES

1. BUILDING AREAS SHALL BE APPROXIMATELY AS ESTABLISHED BY THE PROJECT APPROVALS.
2. THE OVERALL PARKING RATIO FOR THE SITE SHALL BE MAINTAINED IN ACCORDANCE WITH THE MILLENIA PARKING MANAGEMENT PLAN.
3. PROPOSED BUILDINGS SHALL NOT SHALL NOT REQUIRE THE ALTERATION OF THE TECHNICAL STUDIES



CANOPIES / AWNINGS



FIXTURE TYPE "A" & "C"



FIXTURE TYPE "B" & "D"



FIXTURE TYPE "E"

LIGHT FIXTURE SCHEDULE									
FIXTURE		MANUFACTURER	CATALOG NUMBER	WATTS	VOLTS	MTG	LAMP TYPE	BUG	REMARKS
TYPE	SYMBOL								
A		BEACON LIGHTING	(2) VPL-64NB-136-5K-T3-UNV-MTT	210	120	P	LED LAMPS PROVIDED W/FIXTURE	-	①
B		BEACON LIGHTING	VPL-64NB-136-5K-T3-UNV-MTT	135	120	P	LED LAMPS PROVIDED W/FIXTURE	-	①
C		BEACON LIGHTING	(2) VPL-64NB-136-5K-T4-UNV-MTT	210	120	P	LED LAMPS PROVIDED W/FIXTURE	-	①
D		BEACON LIGHTING	VPL-64NB-136-5K-T4-UNV-MTT	135	120	P	LED LAMPS PROVIDED W/FIXTURE	-	①
E		STERNBERG LIGHTING	PT SL660-CA-56L-30K-T3-F-MDLO3-U5L	61	120	P	LED LAMPS PROVIDED W/FIXTURE	-	①

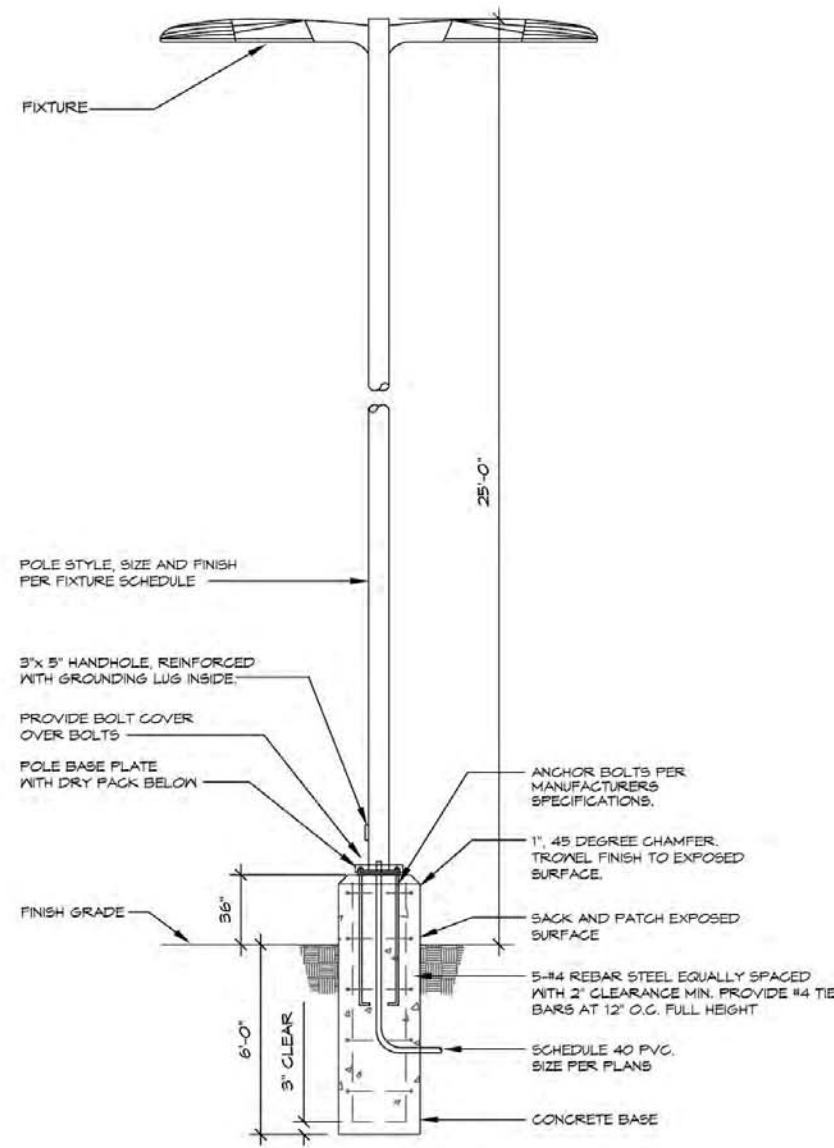
MOUNTING TYPES:
 WS-WALL SURFACE, WR-WALL RECESSED, CS-CEILING SURFACE, CR-CEILING RECESSED, CH-CHAIN, PN-PENDANT, U-UNIVERSAL, G-GROUND, P-POLE,
 UC-UNDER CABINET, T-TRACK, CB-CABLE, TR-TRELLIS, C-COVE

NOTES

- ① 22' SQUARE STEEL POLE METALLIC TITANIUM

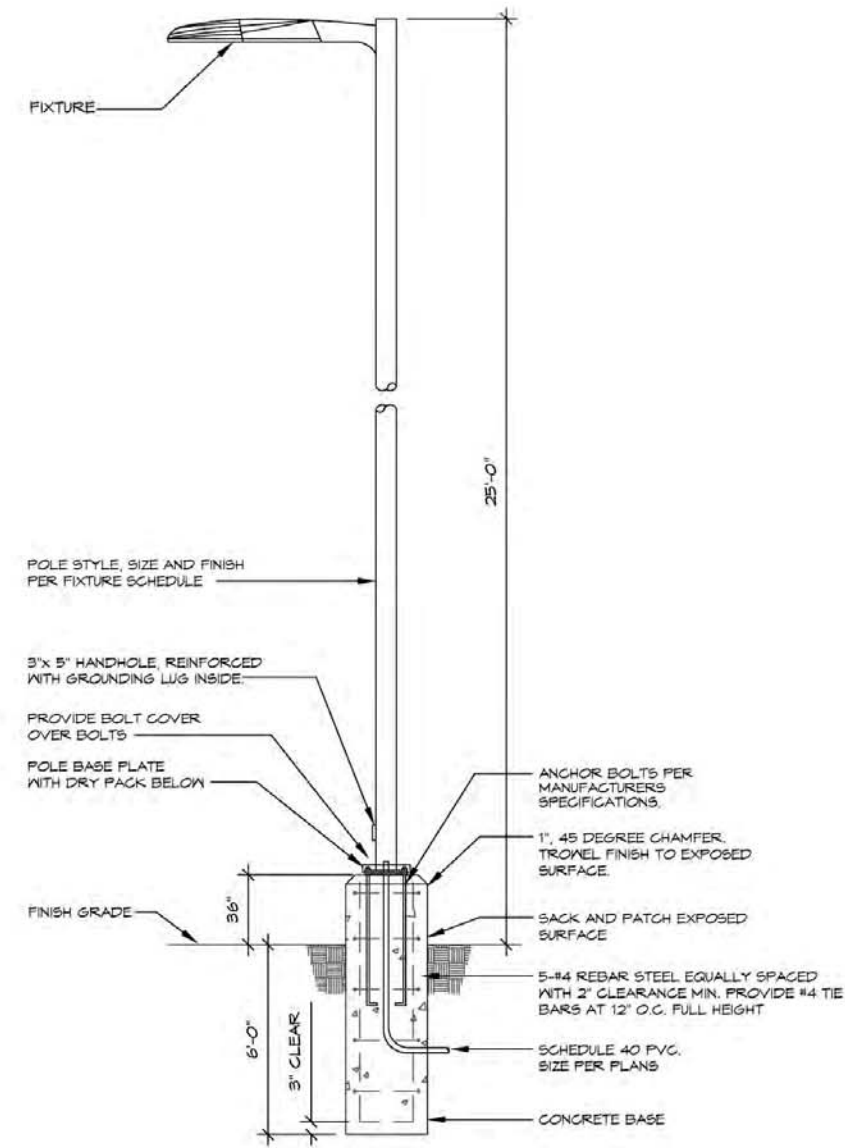
26/ 02 / 2016 - 11/23/16
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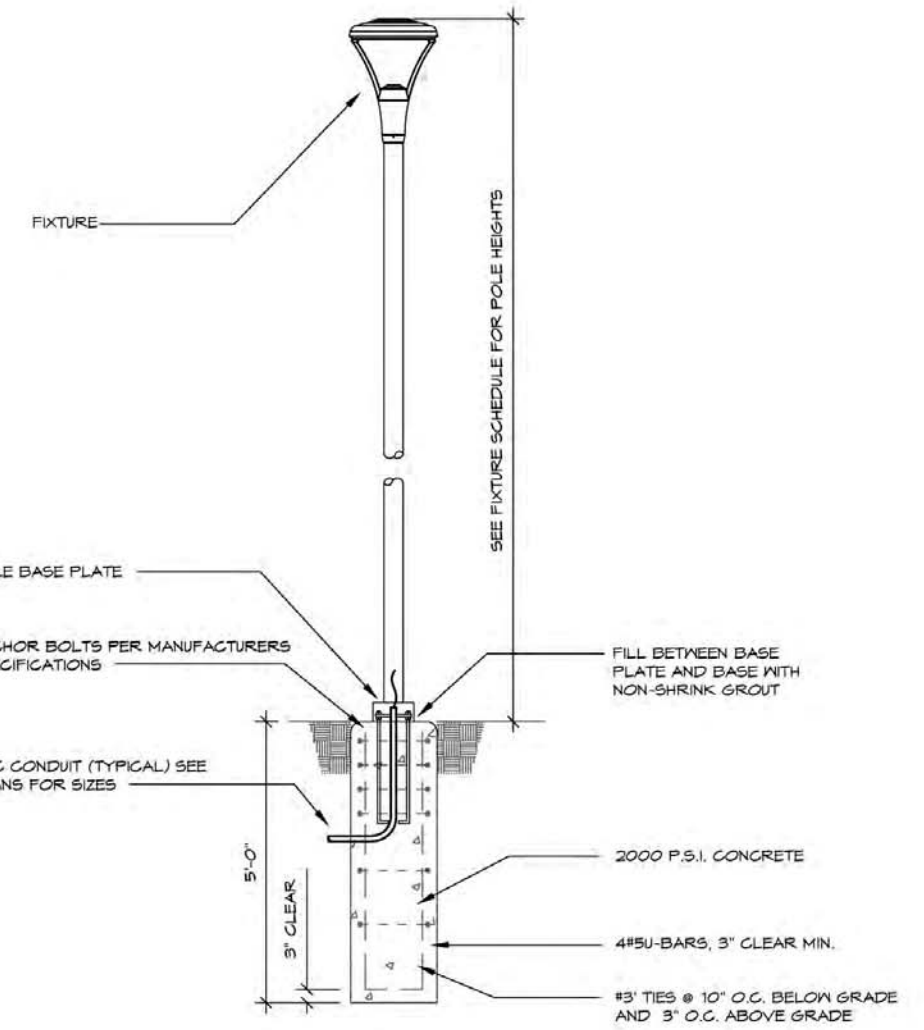
FIXTURES "A" & "C" DETAIL

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FIXTURES "B" & "D" DETAIL

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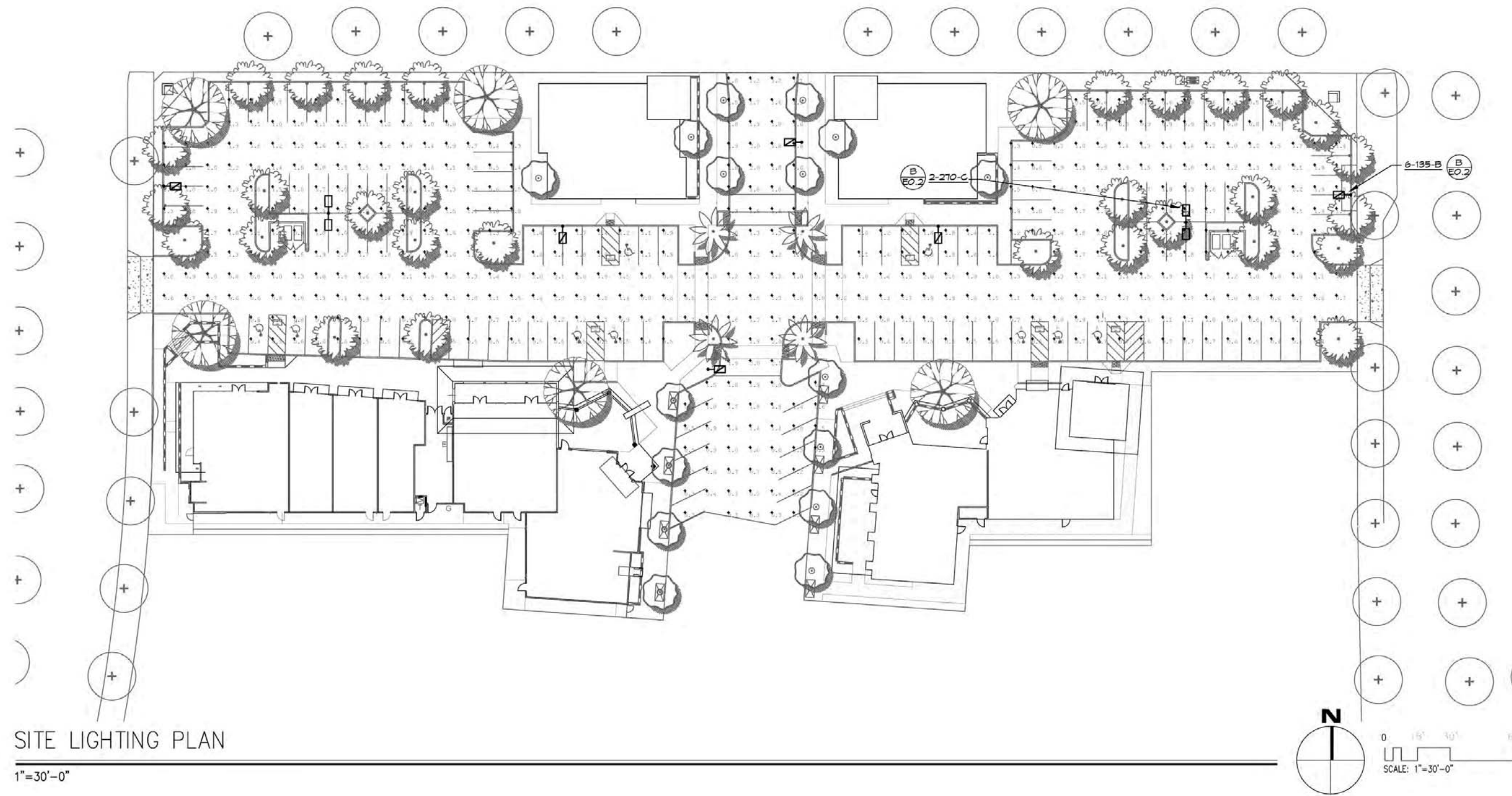


FIXTURE "E" DETAIL

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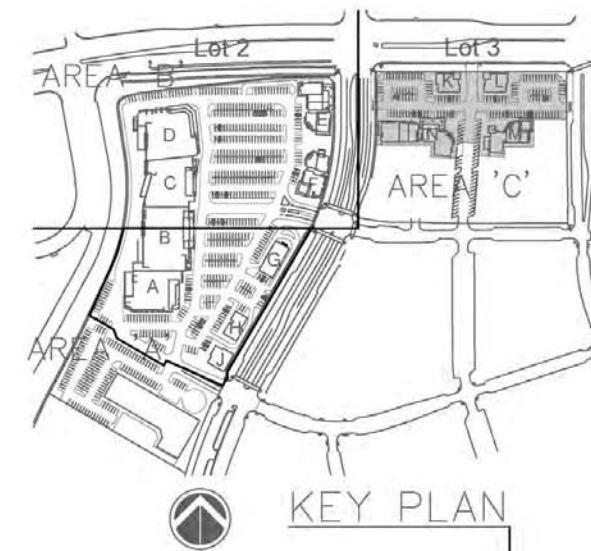


GENERAL NOTE:
 1. SEE ARCHITECTURAL PLANS FOR "ENGINEERED" POLE BASE DETAIL.



SITE LIGHTING PLAN

1"=30'-0"



KEY PLAN



Andrew Hull Stevenson Architects

5465 Morehouse Drive, Suite 260
San Diego, California 92121
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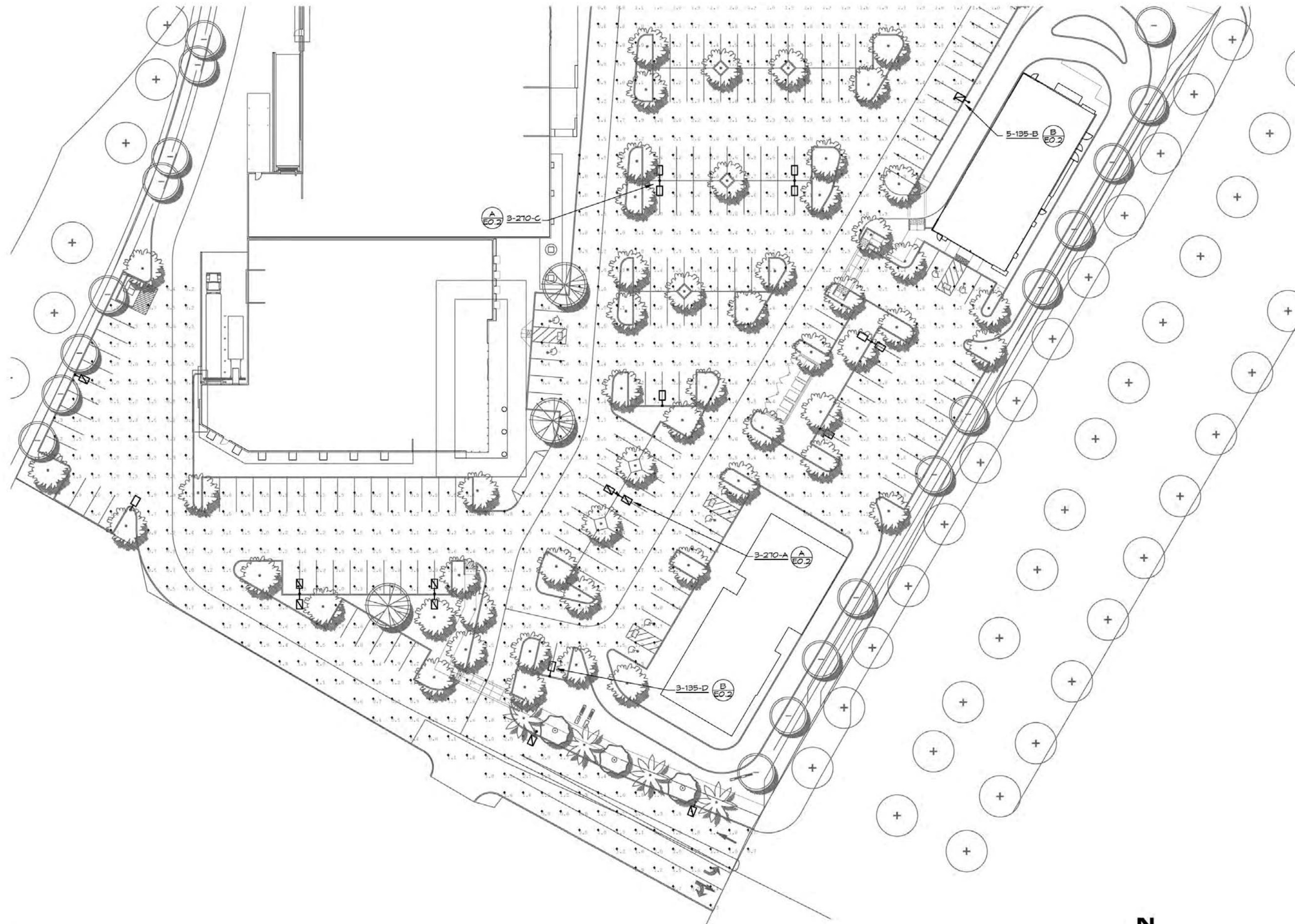
Millenia Lots 2 & 3

Chula Vista, California

Project Name:
Millenia Lots 2 & 3

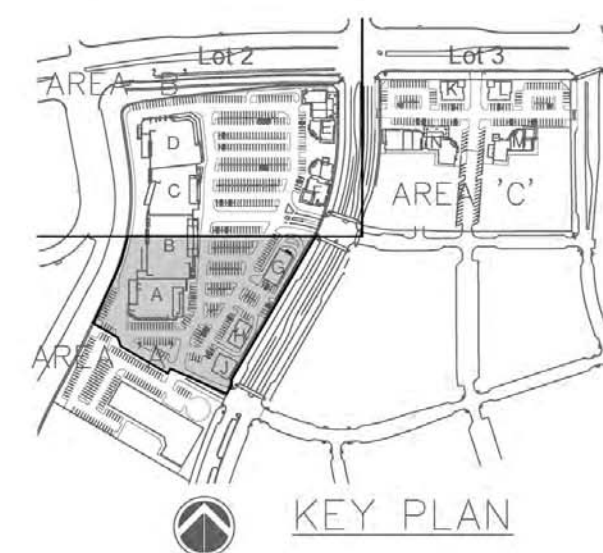
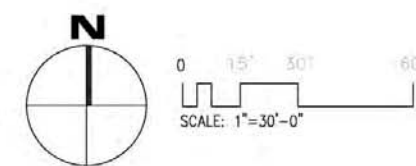
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SITE LIGHTING PLAN
E.1.1

Revision 05:	_____
Revision 04:	11/10/16
Revision 03:	_____
Revision 02:	_____
Revision 01:	_____
Original Date:	_____
Sheet #	39 of 46
DEP#	_____



SITE LIGHTING PLAN

1"=30'-0"



KEY PLAN

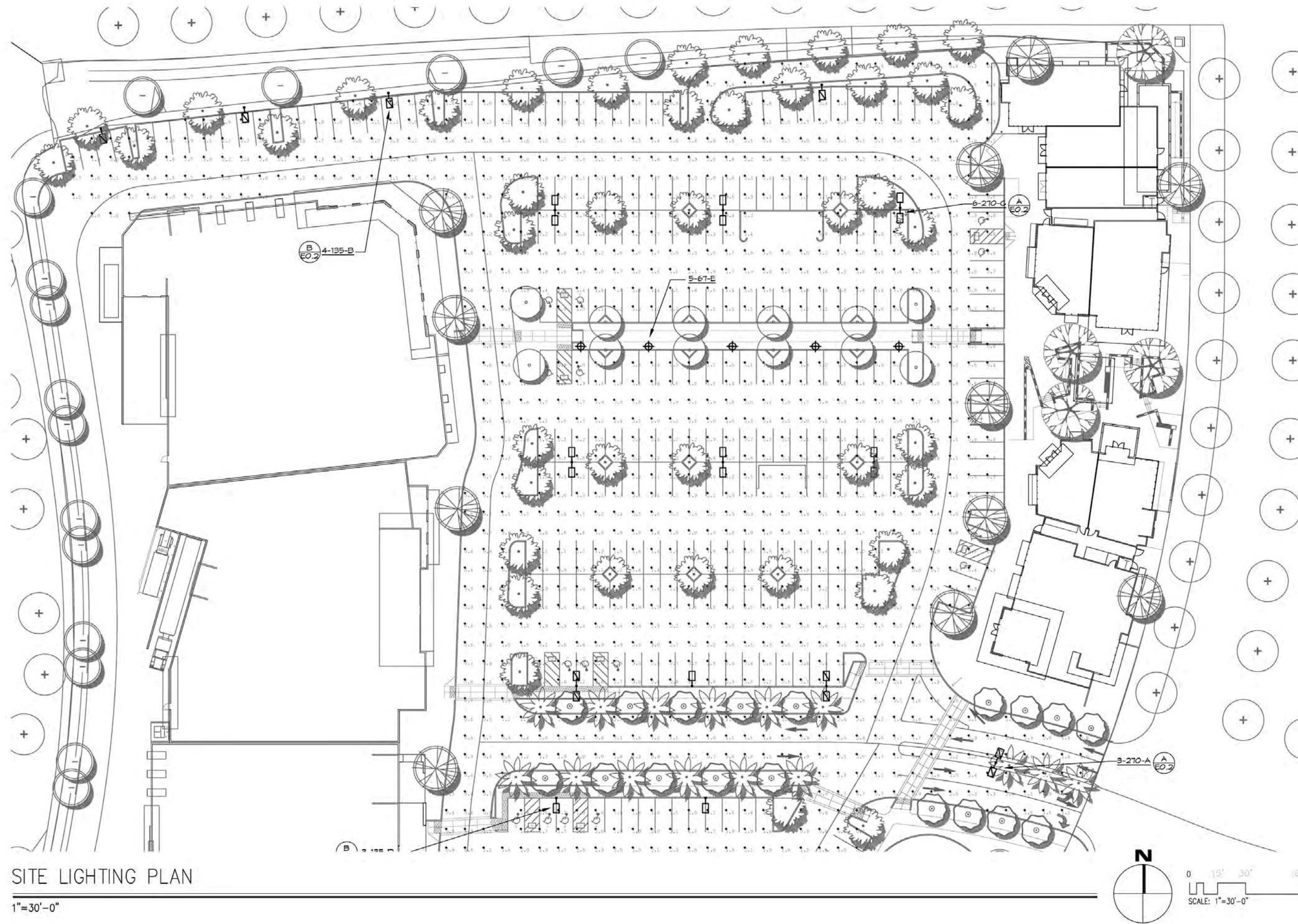


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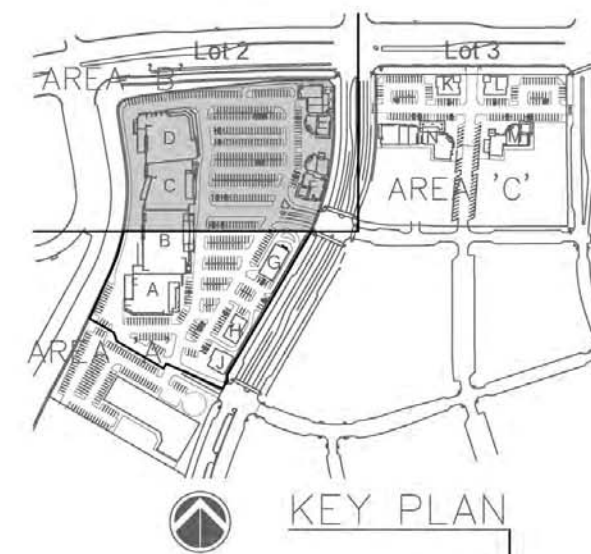
Millenia Lots 2 & 3
 Chula Vista, California

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Sheet Title:	SITE LIGHTING PLAN E.1.2
Revision 05:	_____
Revision 04:	11/10/16
Revision 03:	_____
Revision 02:	_____
Revision 01:	_____
Original Date:	_____
Sheet #	40 of 46
DEP#	_____



SITE LIGHTING PLAN

1"=30'-0"



KEY PLAN



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Millenia Lots 2 & 3

Chula Vista, California

Project Name:
Millenia Lots 2 & 3

Sheet Title:
SITE LIGHTING PLAN
E.1.3

Revision 05:	_____
Revision 04:	_____
Revision 03:	11/10/16
Revision 02:	_____
Revision 01:	_____
Original Date:	_____
Sheet #	41 of 46
DEP#	_____



View From Parking Lot



View From Birch Road

Nov 15, 2016 - 11:50am
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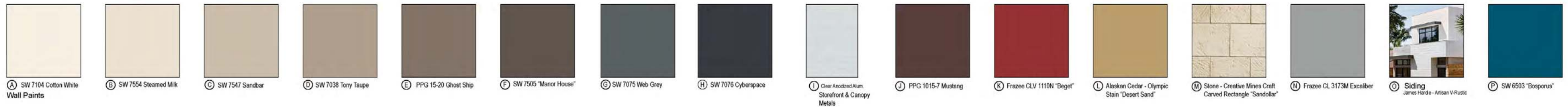
View From Parking Lot



View From Millenia Avenue

Nov 10, 2016 - 11:05am
P:\2016\10268 Millenia\10268 Dep\10268 Plan\10268 02B Plan.dwg

Color and Materials Legend:



ANCHOR BUILDINGS ELEVATIONS - EAST



ANCHOR BUILDINGS ELEVATIONS - WEST



BUILDINGS "E" and "F" ELEVATIONS - EAST

Colors & Materials

